

OWNER

OPAL COMMUNITY LAND TRUST
286 ENCHANTED FOREST ROAD #B10 •
CONTACT: JEANNE BECK
PH: (360) 316-3193
F: (360) 316-3193

SITE INFORMATION

ADDRESS:
106 ORION LANE
EASTBOUND, WASHINGTON 98245

LEGAL DESCRIPTION:

PARCEL NUMBER:
TAX LOT NO. 21412012000

PARCEL AREA:
2.9 ACRES

CONSULTANTS

ARCHITECT:

ZERVAS GROUP ARCHITECTS
209 PROSPECT STREET
BELLINGHAM, WA 98225
CONTACT: SHARON ROBINSON
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PROJECT MANAGER:

OPAL COMMUNITY LAND TRUST
286 ENCHANTED FOREST ROAD
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CIVIL ENGINEER

HART PACIFIC ENGINEERING
P.O. BOX 124 EASTBOUND WA
EASTBOUND, WA 98245
CONTACT: GREGG BRON
PH: (360) 316-3596

SUSTAINABLE DEVELOPMENT

HERON RIVER GROUP
1019 16TH STREET
ALACORTES, WA 98221
CONTACT: JESSICA OLINSTEAD
PH: (360) 316-6331

ARCHITECTURAL
ABBREVIATIONS

AHL	AIR HANDLING UNIT
ALT	ALTERNATE
AV	AUDIO / VISUAL
BLDG	BUILDING
DIA	DIALECTER
D5	DOWNSPOUT
ELEC	ELECTRICAL
ELEV	ELEVATOR
EXT	EXTERIOR
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FF	FINISH FLOOR
GA	GAUGE
GLB	GLUE LAMINATED BEAM
GUWB	GYPSPUM WALL BOARD
HB	FROST PROTECTED HOSE BIB
HR	HOUR
INSUL	INSULATION
INT	INTERIOR
MECH	MECHANICAL
MISC	MISCELLANEOUS
O.C.	ON CENTER
O.D.	OVERFLOW DRAIN
OFF	OFFSHOULDER
ORULL	OVERFLOW RAINWATER LEADER
P.T.	PRESSURE TREATED
REF	REFERENCE
RFL	RAINWATER LEADER
RUL	SHEET
SHT	SIMILAR
SHT	STAINLESS STEEL
S6	STAINLESS STEEL
ST	STREET
STRUCT	STRUCTURAL
T.O.C.	TOP OF CONCRETE
T8	TUBE STEEL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
W/	WITH
AT	AT
AND	AND

BUILDING UNIT NUMBER KEY

H
22
21

G
20
19

F
18
17

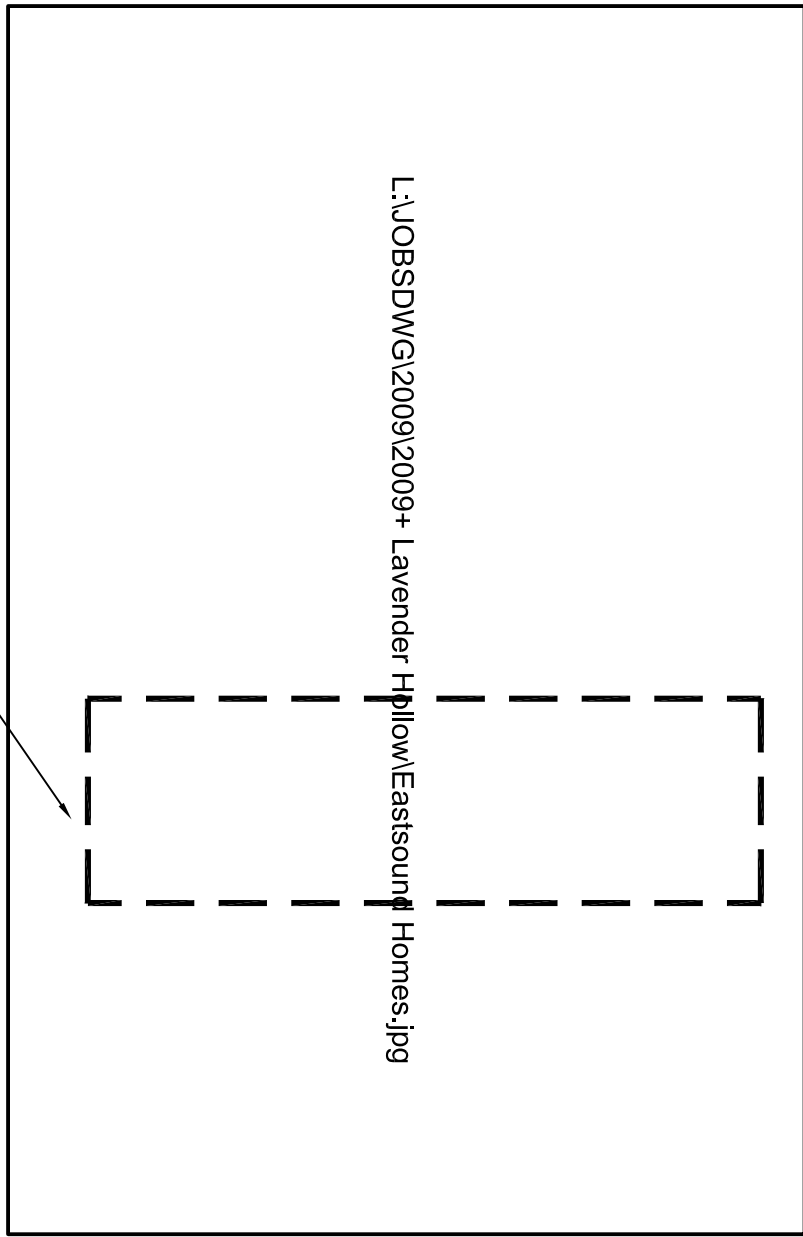
E
16
15

D
14
13

C
12
11
10
9

B
8
6
7-ADA
5-ADA

A
4
3
2
1



3 VICINITY MAP

NTS

BASIC CODE INFORMATION

2009 IBC

OCCUPANCY GROUP: R-1 (ONE-BEDROOM UNITS) & R-3 (THREE-BEDROOM UNITS)
CONSTRUCTION TYPE: SPRINKLERED

R-1 OCCUPANCY

R-3 OCCUPANCY

BUILDING AREA: 15,164 SF

TOTAL FLOOR AREA: 15,164 SF

DRAWING INDEX

ARCHITECTURAL

A10 SITE PLAN - INFORMATION
A11 UNIT KEY & SCOPE MATRIX
A12 EXTERIOR ELEVATIONS
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A97 EXTERIOR ELEVATIONS
A98 EXTERIOR ELEVATIONS
A99 EXTERIOR ELEVATIONS
A100 EXTERIOR ELEVATIONS

CIVIL

C1 GENERAL PLAN AND NOTES
C2 SITE AND GRADING PLANS
C3

SYMBOLS

(1-B) DOOR TAG *	
(1-B) WINDOW TAG *	
(1-B) RELITE TAG	
(1-B) WALL TAG *	
SECTION MARK (C2)	
DETAIL MARK (C2)	
DETAIL MARK WITH CIRCLE BOUNDARY	
REVISION	
GRID BUBBLES AND LINES *	
INTERIOR ELEVATION	

ENCHANTED FOREST ROAD

EXISTING POLE MOUNTED
BUILDING LIGHTS TO BE
REMOVED. THERE CO BE
AT EIGHT (8) LOCATIONS.

SEE CIVIL DUGS.

OFFICE ADDITION
SEE SHEET A21
FOR SIDEWALKS
SEE CIVIL DUGS.

ORION LANE

PROPERTY LINE

PROPERTY LINE

CONTRACTOR
STAGING AREA

PEDESTRIAN PATH TO
VILLAGE OF EASTBOUND

1 SITE PLAN

Zervas Group Architects

209 PROSPECT STREET
BELLINGHAM, WASHINGTON 98225
T: 360.734.4744
F: 360.733.4085
WWW.ZERVASGROUP.COM

Architects
Interior Design
Planning

TRUE North

SCALE: 1/32" = 1'-0"

0 32'

PLAN North

OPAL
LAVENDER
HOLLOW RENO.
OPAL COMMUNITY
LAND TRUST

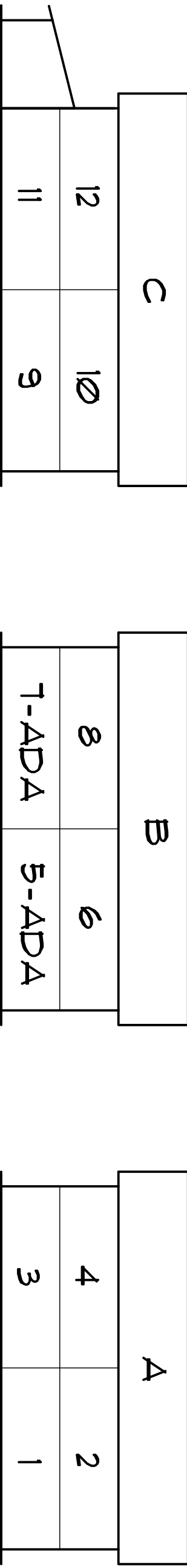
SITE PLAN &
PROJECT INFO

JOB NO. 200802 04
CHECKED SLAB
REV. 06/30/11
DATE

A1.0

DATE
DEC-2008

SCALE: 1/16" = 1'-0"



SEE SPECIFICATIONS FOR COMMON AREA WORK

3

NOTES:

GENERAL NOTES:

1. THE OWNER RESERVES THE RIGHT TO VARY THE SPECIFIC UNITS WHICH ARE SELECTED FOR THE VARIOUS WORK SCOPES, BUT THE TOTAL NUMBER OF UNITS AND TYPES OF UNITS IN EACH CATEGORY WILL NOT CHANGE.

2. SEE SPECIFICATIONS FOR DETAILED DESCRIPTIONS OF VARIOUS SCOPE ITEMS.

UNIT 2:

DO NOT REPLACE SOUTH SIDE BEDROOM WINDOW
DO NOT REPLACE REFRIGERATOR
DO NOT REPLACE RANGE
DO NOT REPLACE HOT WATER HEATER

UNIT 3:

DO NOT REPLACE REFRIGERATOR
DO NOT REPLACE RANGE

UNIT 4:

DO NOT REPLACE ADA SPOKE DETECTORS IN BEDROOM'S
DO NOT REPLACE KITCHEN COUNTERS
DO NOT REPLACE RANGE
DO NOT REPLACE CARPET IN LIVING ROOM AND VINYL IN BATHROOM

UNIT 5:

DO NOT REPLACE RANGE

UNIT 11:

DO NOT REPLACE ADA SPOKE DETECTORS IN BEDROOM'S

UNIT 9:

DO NOT REPLACE WEST SIDE BEDROOM WINDOW
DO NOT REPLACE EAST SIDE BATHROOM WINDOW
DO NOT REPLACE DOWNSTAIRS BEDROOM WINDOW
DO NOT REPLACE NORTH SIDE BATHROOM WINDOW
DO NOT REPLACE EAST SIDE BEDROOM WINDOW

UNIT 13:

DO NOT REPLACE FLOORING, CARPET, AND VINYL

UNIT 11:

DO NOT REPLACE EAST SIDE KITCHEN WINDOW

UNIT 20:

DO NOT REPLACE EAST SIDE BEDROOM WINDOW

UNIT 22:

DO NOT REPLACE WINDOWS
DO NOT REPLACE FLOORING, CARPET, AND VINYL

GENERAL NOTES:

1. THE OWNER RESERVES THE RIGHT TO VARY THE SPECIFIC UNITS WHICH ARE SELECTED FOR THE VARIOUS WORK SCOPES, BUT THE TOTAL NUMBER OF UNITS AND TYPES OF UNITS IN EACH CATEGORY WILL NOT CHANGE.

2. SEE SPECIFICATIONS FOR DETAILED DESCRIPTIONS OF VARIOUS SCOPE ITEMS.

DO NOT REPLACE SOUTH SIDE BEDROOM WINDOW
DO NOT REPLACE REFRIGERATOR

UNIT 3:

UNIT 4:

DO NOT REPLACE ADA SMOKE DETECTORS IN BEDROOMS
DO NOT REPLACE KITCHEN COUNTERS
DO NOT REPLACE BATHS

DO NOT REPLACE CARPET IN LIVING ROOM AND VINYL IN BATHROOM

UNIT 5:

DO NOT REPLACE RANGE

...

DO NOT REPLACE WEST SIDE BEDROOM WINDOW
DO NOT REPLACE EAST SIDE BATHROOM WINDOW
DO NOT REPLACE DOWNSTAIRS BEDROOM WINDOW
DO NOT REPLACE NORTH SIDE BATHROOM WINDOW
DO NOT REPLACE EAST SIDE BEDROOM WINDOW

DO NOT REPLACE FLOORING, CARPET, AND VINYL

UNIT 17:

DO NOT REPLACE EAST SIDE KITCHEN WINDOW

UNIT 20:

UNIT 22:

**DO NOT REPLACE WINDOWS
DO NOT REPLACE FLOORING, CARPET, AND VINYL**

TRUE NORTH
PLAN NORTH

NO.

DRK

200802.04

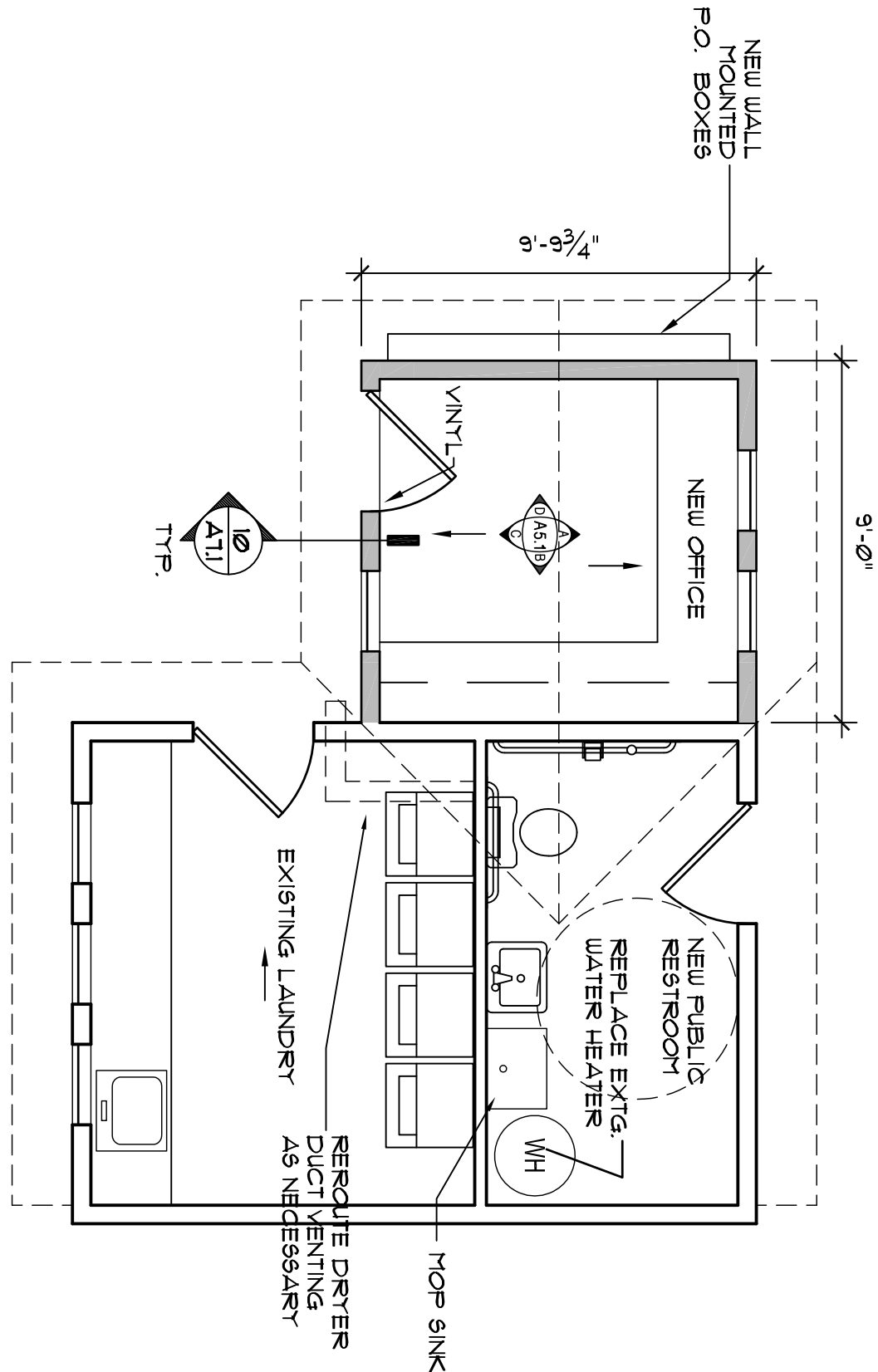
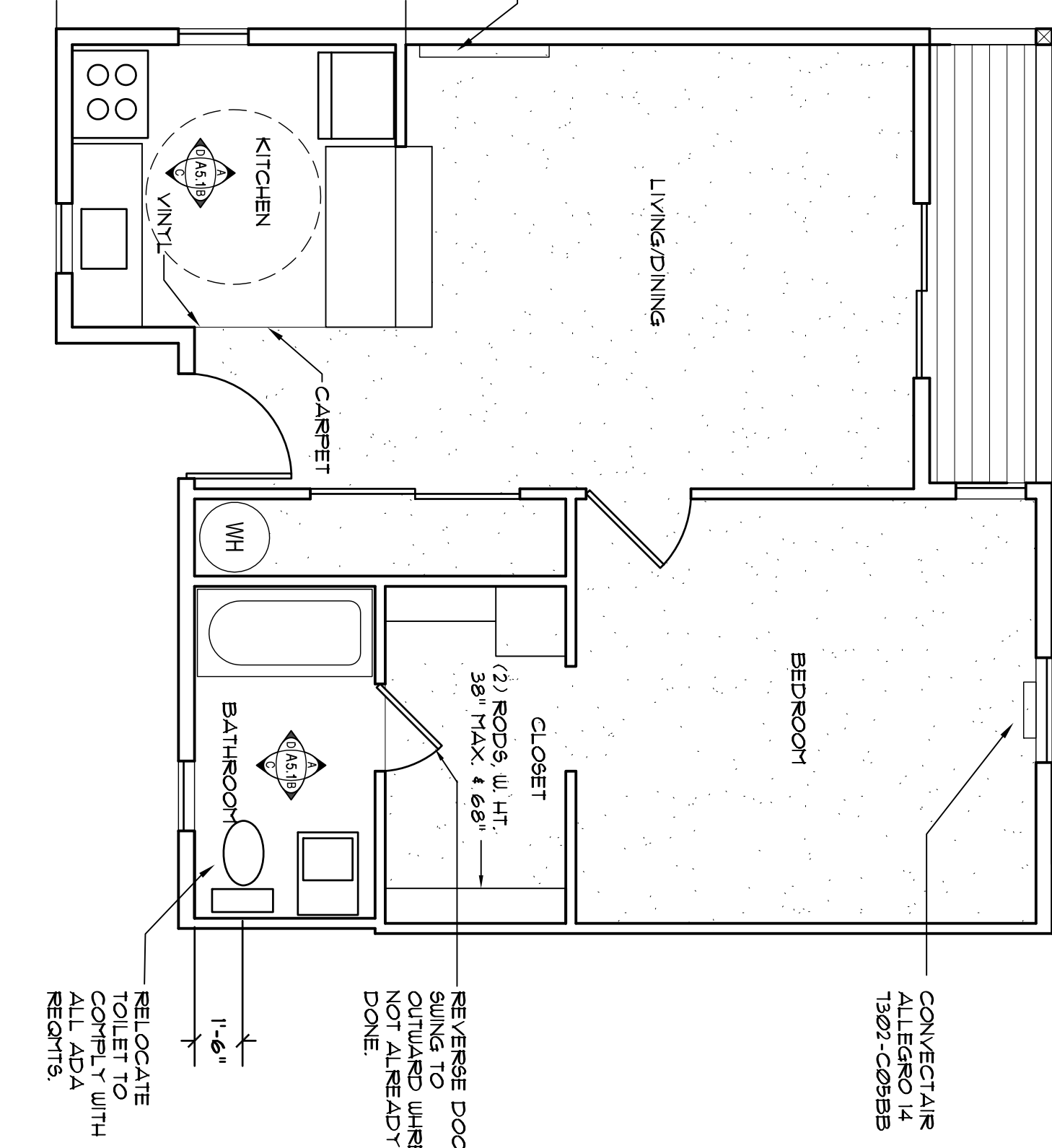
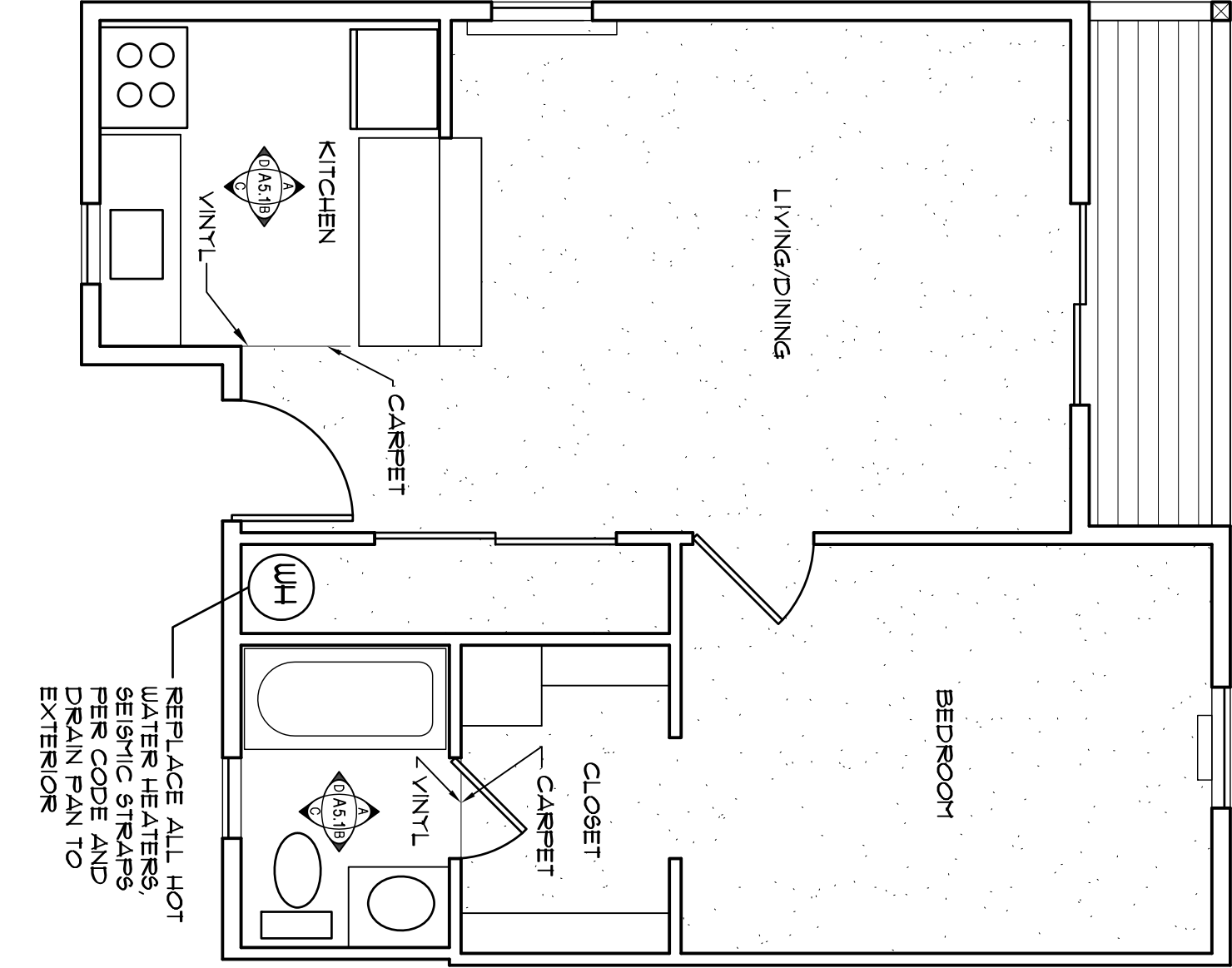
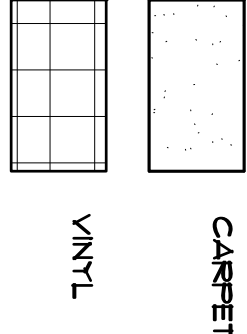
SJAB

06.30.11

1.1

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KEY - FLOOR FINISH

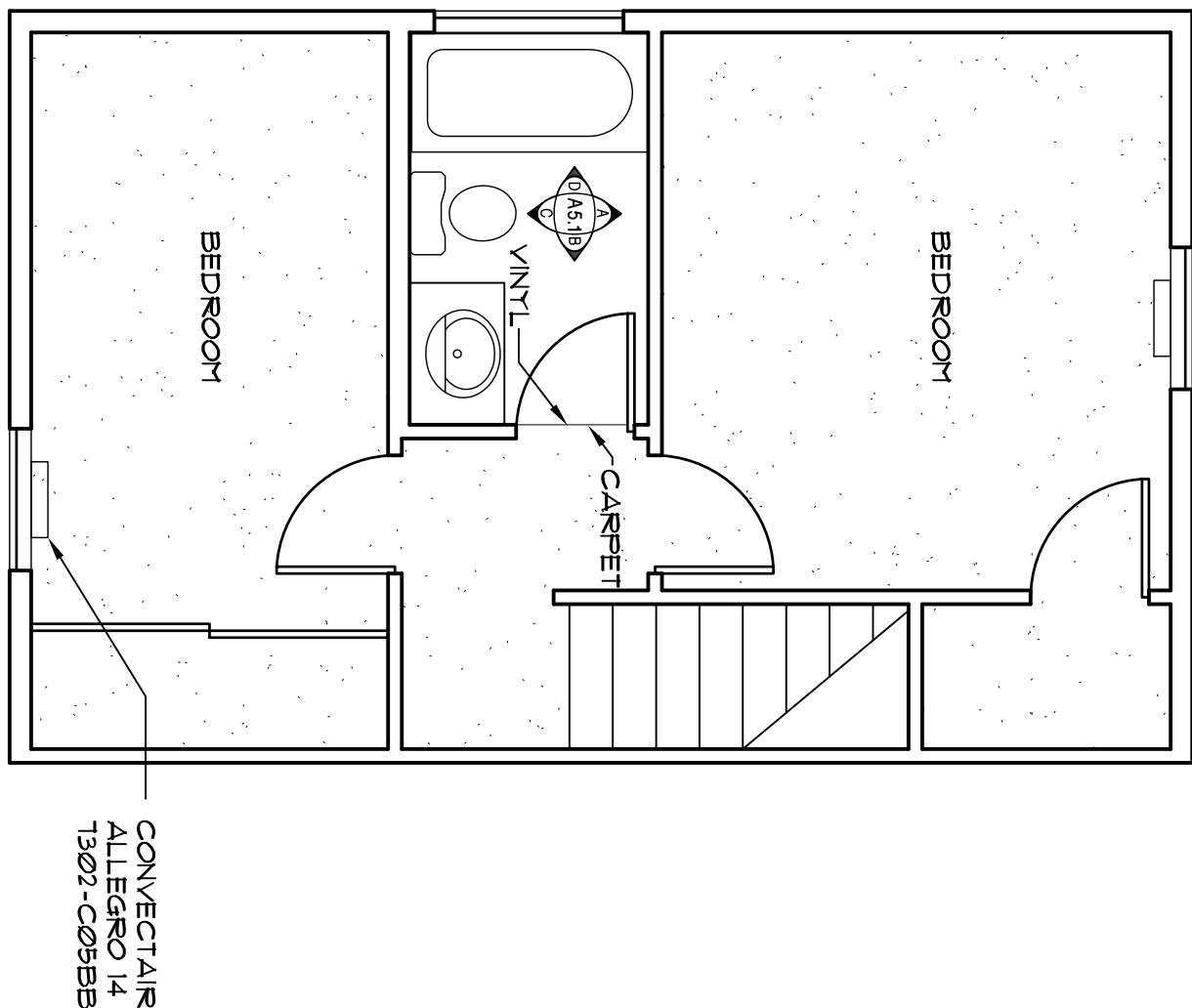
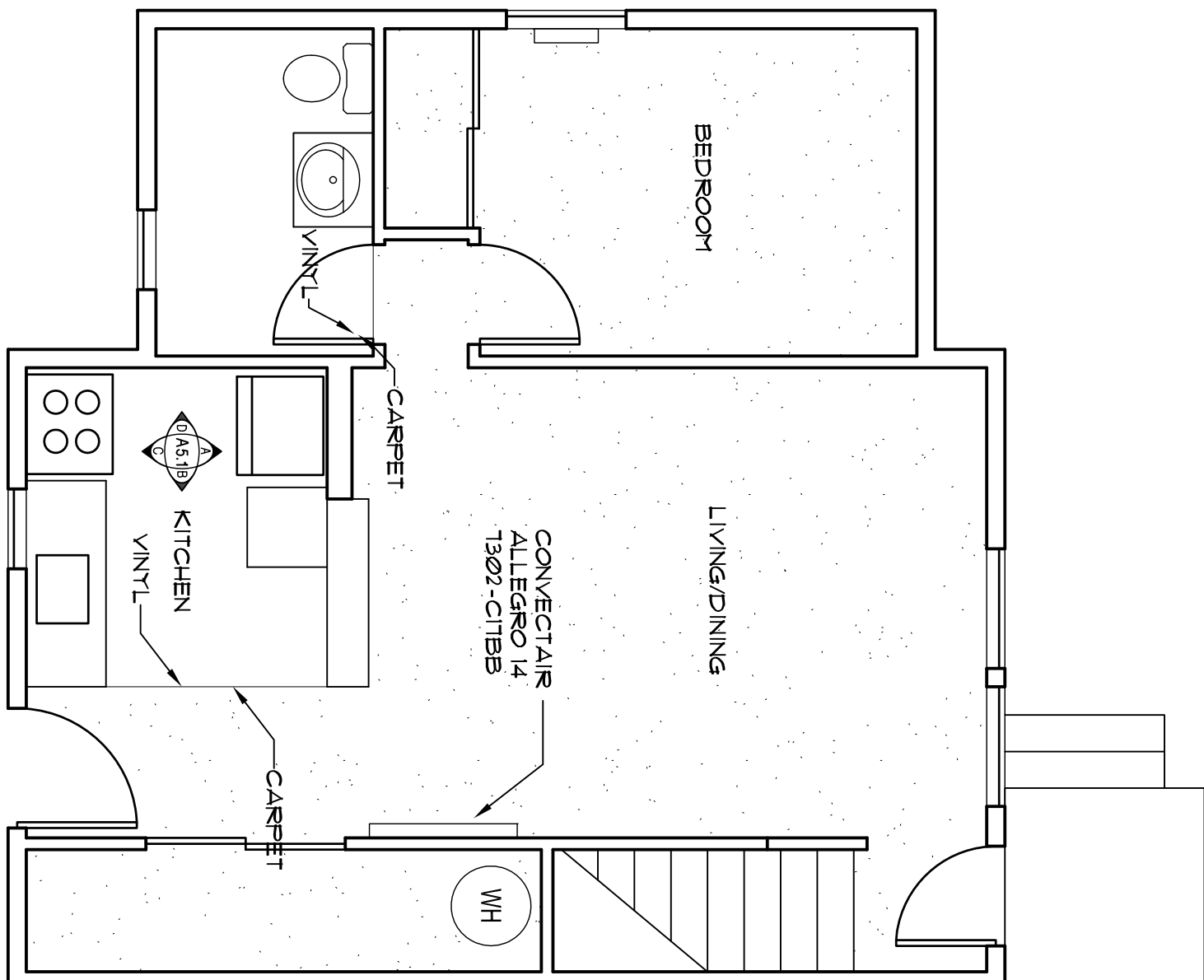
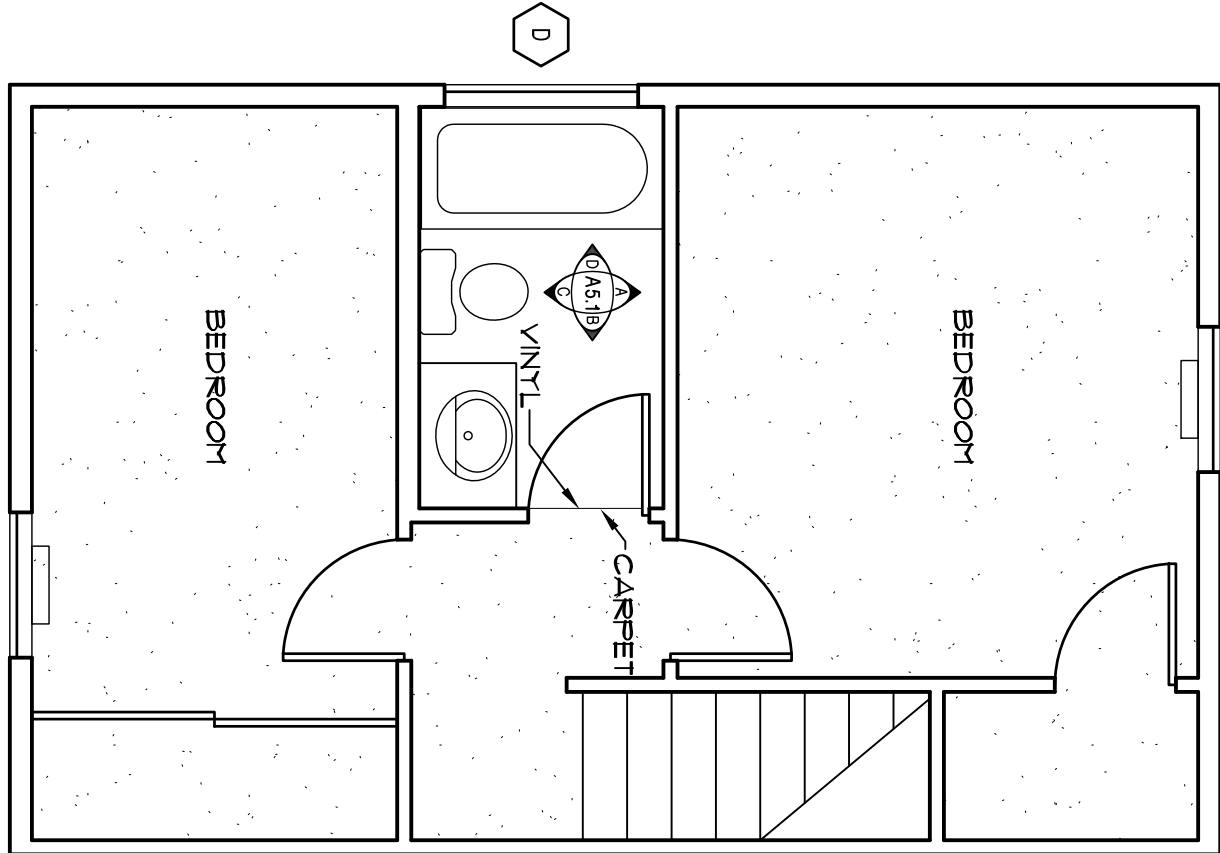
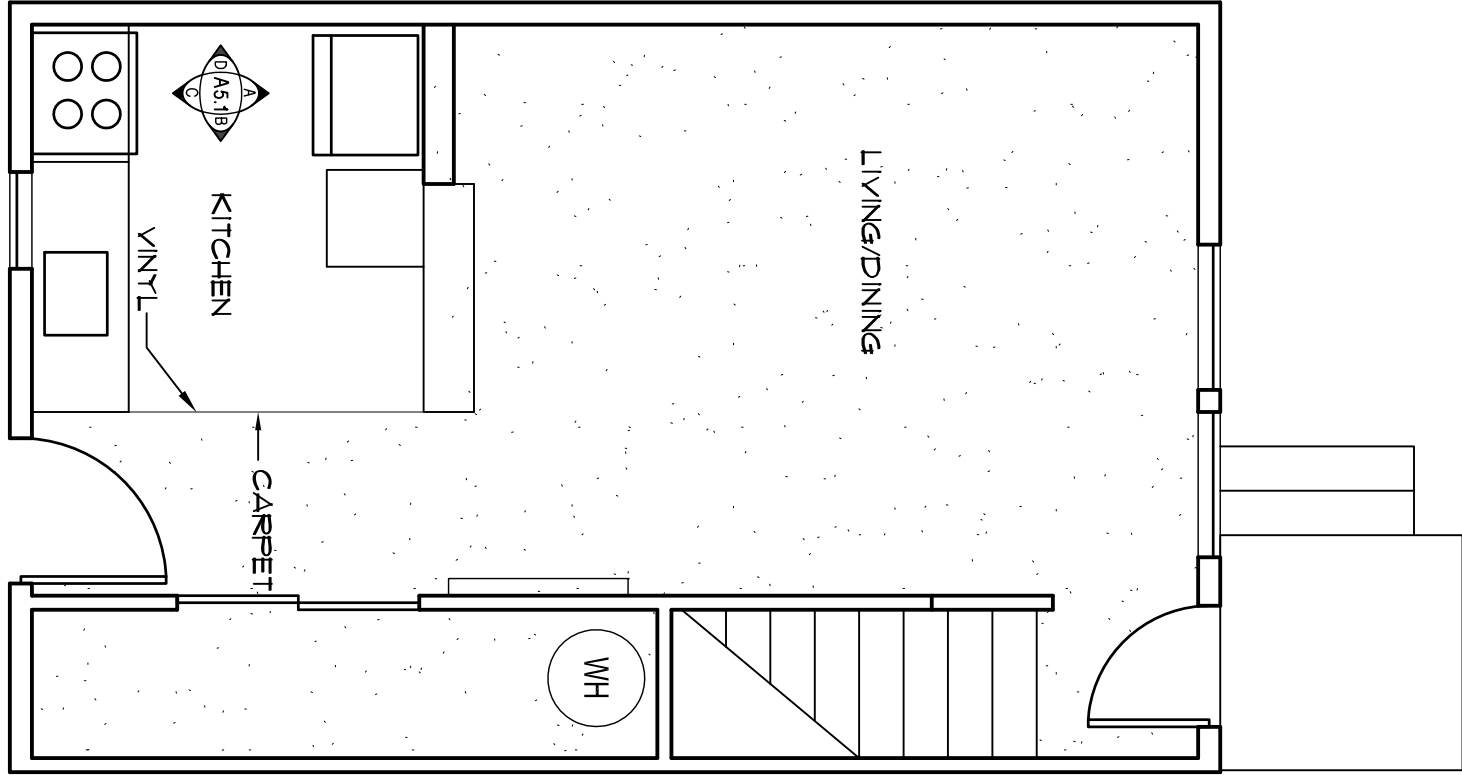


1 ONE-BEDROOM FLOOR PLAN
BUILDINGS A, B, & C

2 ADA ONE-BEDROOM FLOOR PLAN
BUILDING B UNITS 5 & 7

4 OFFICE ADDITION FLOOR PLAN
BUILDING C

1/2" = 1'-0"



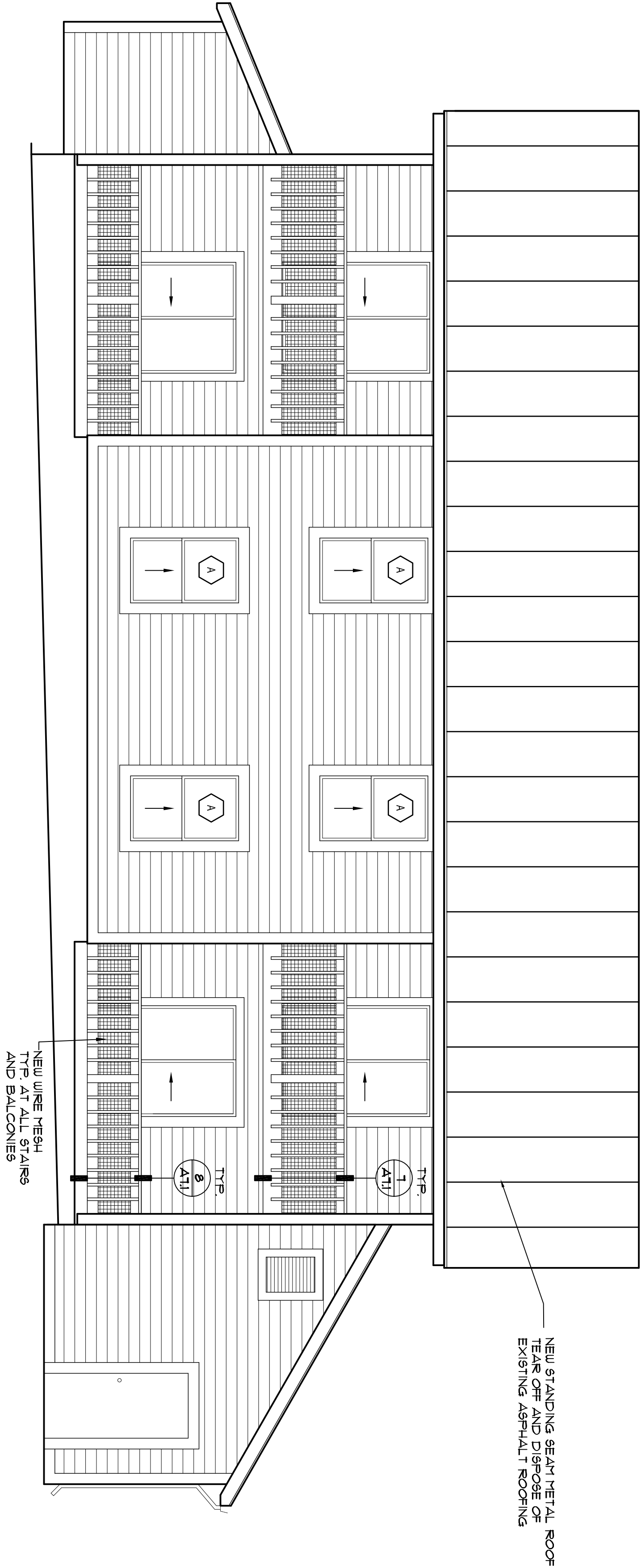
3 TWO-BEDROOM FIRST FL. PLAN
BUILDINGS D, E, F, & G

4 TWO-BEDROOM SECOND FL. PLAN
BUILDINGS D, E, F, & G

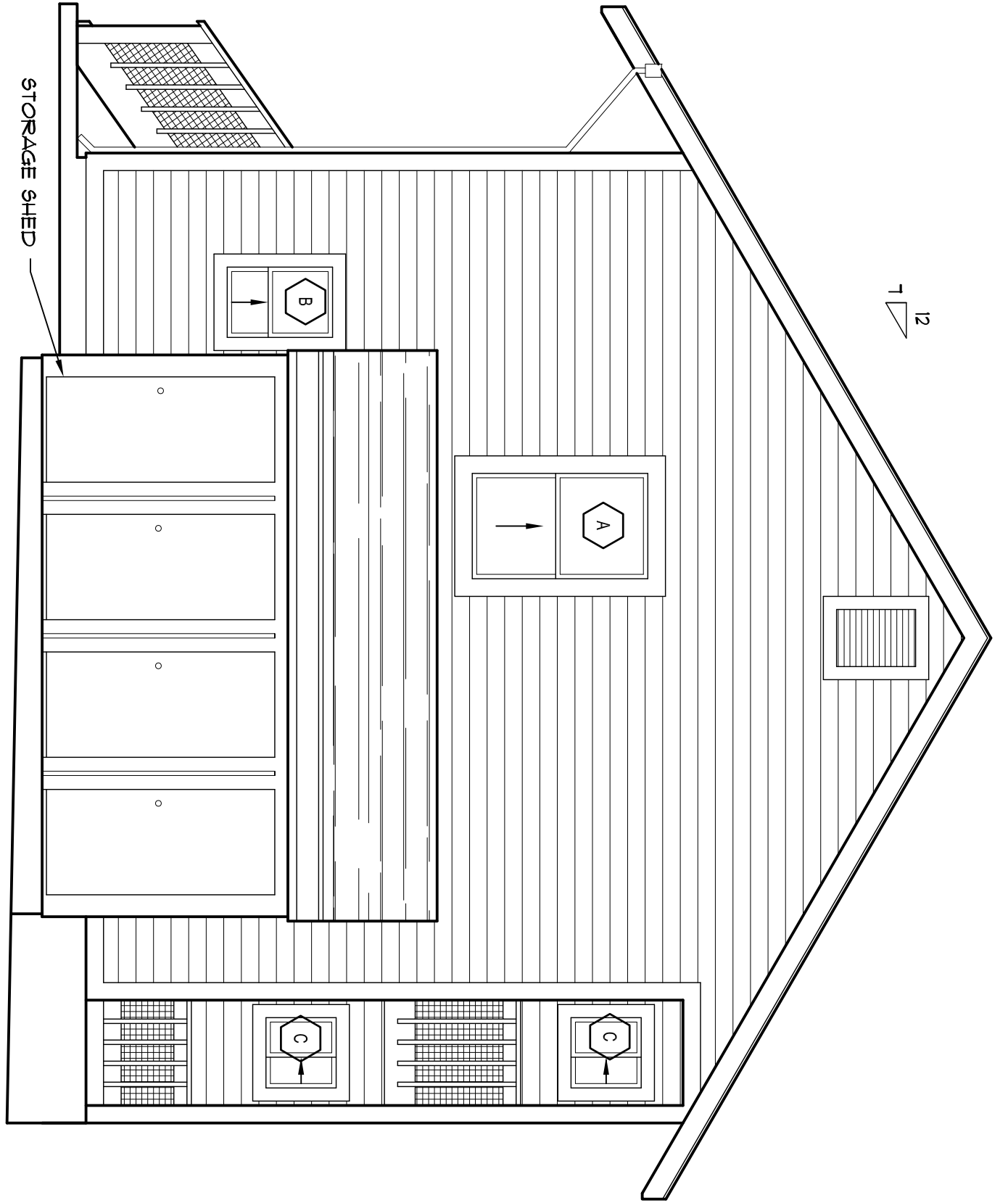
5 THREE-BEDROOM FIRST FL. PLAN
BUILDING H

6 THREE-BEDROOM FIRST FL. PLAN
BUILDING H

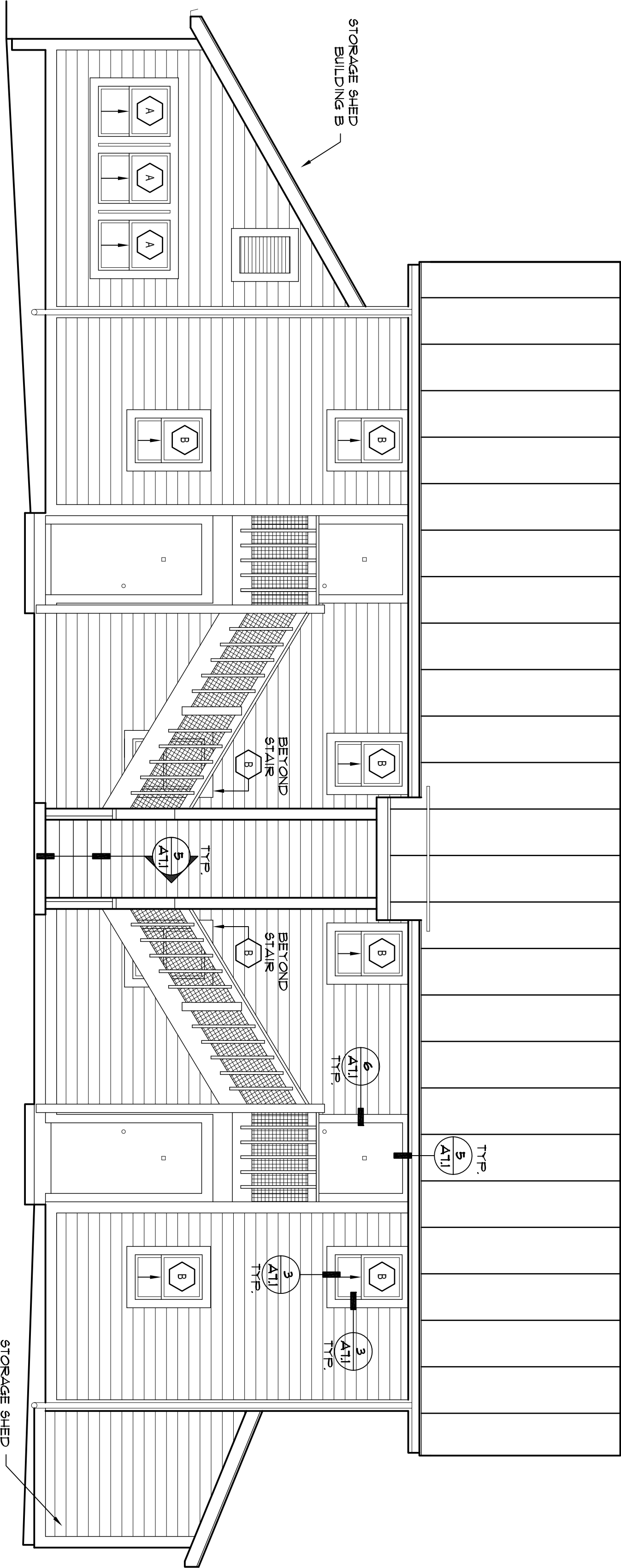
FLOOR PLANS



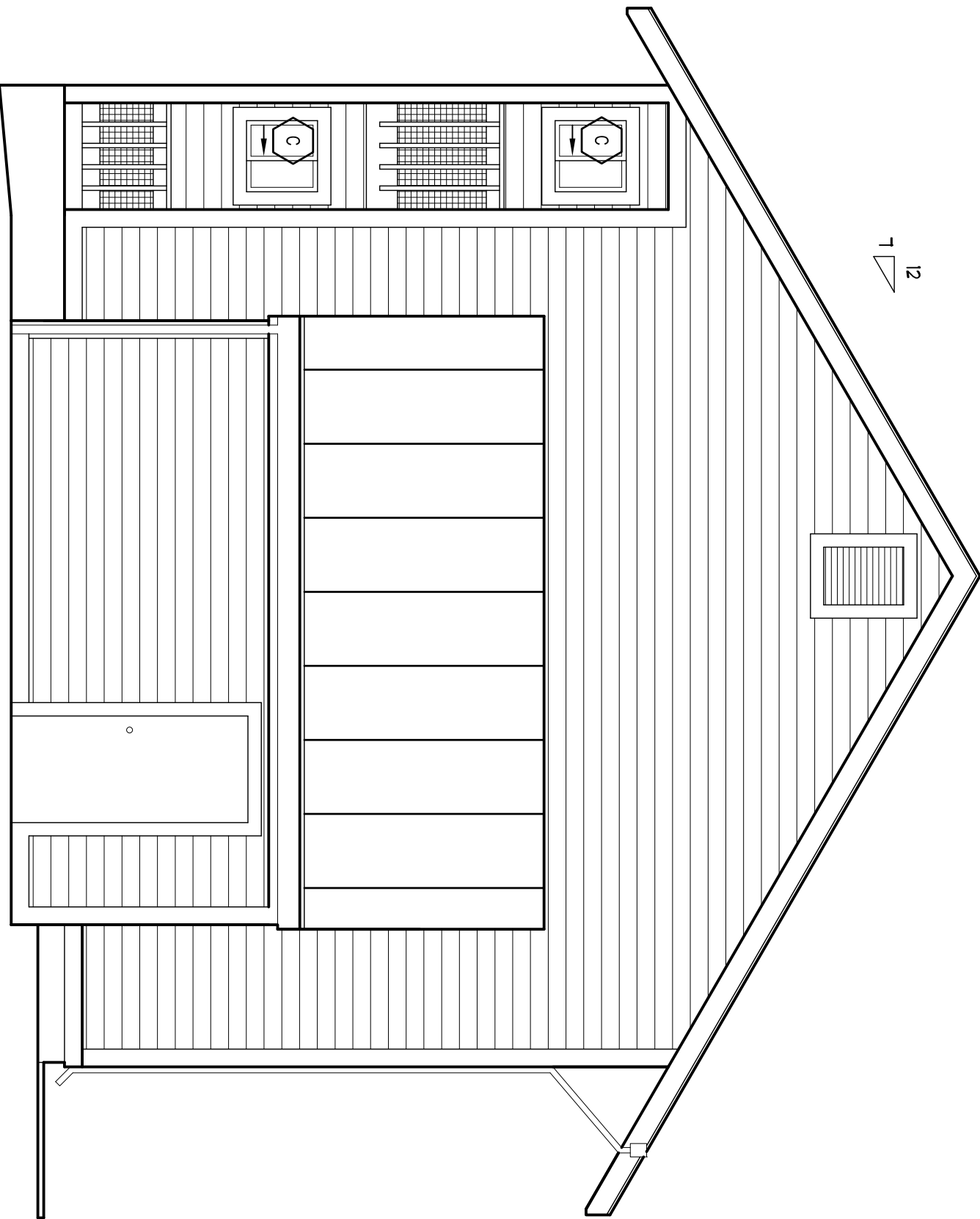
2 REAR ELEVATION BUILDINGS A, B, & C



1 RIGHT SIDE ELEVATION BUILDINGS A & C
BUILDING B SIMILAR WITHOUT SHED



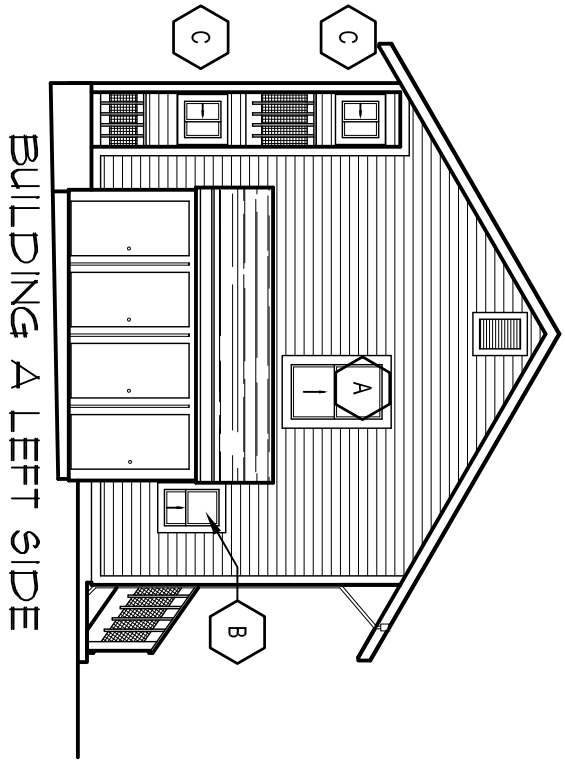
4 FRONT ELEVATION BUILDINGS C
BUILDINGS A & B SIMILAR WITHOUT LAUNDRY



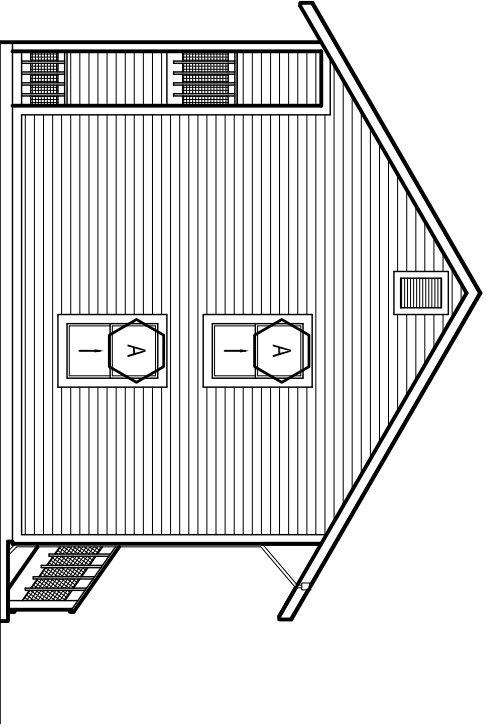
3 LEFT SIDE ELEVATION BUILDING C
BUILDING A & B SIMILAR

WINDOW/DOOR SCHEDULE									
6'-0"		6'-0"		5'-0"		6'-0"		5'-0"	
6'-0"		6'-0"		5'-0"		6'-0"		5'-0"	
6'-0"		6'-0"		5'-0"		6'-0"		5'-0"	
6'-0"		6'-0"		5'-0"		6'-0"		5'-0"	
6'-0"		6'-0"		5'-0"		6'-0"		5'-0"	
6'-0"		6'-0"		5'-0"		6'-0"		5'-0"	
6'-0"		6'-0"		5'-0"		6'-0"		5'-0"	
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6'-0"		6'-0"		5'-0"		6'-0"		5'-0"	

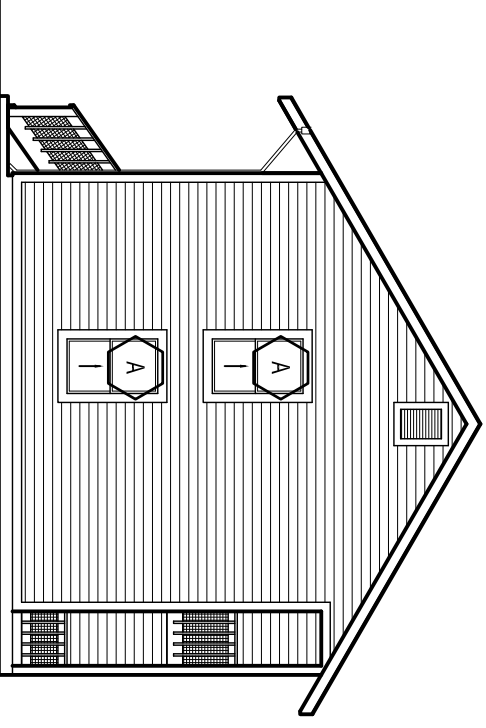
5 WINDOW/DOOR SCHEDULE



BUILDING A LEFT SIDE

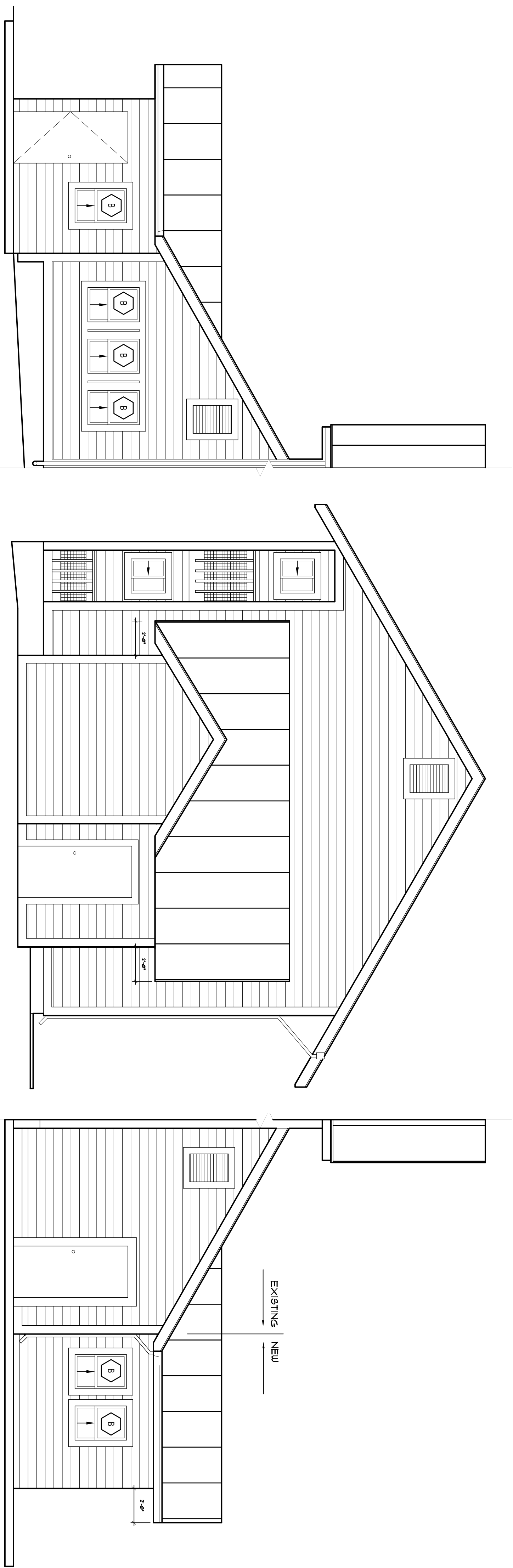


BUILDING B LEFT SIDE

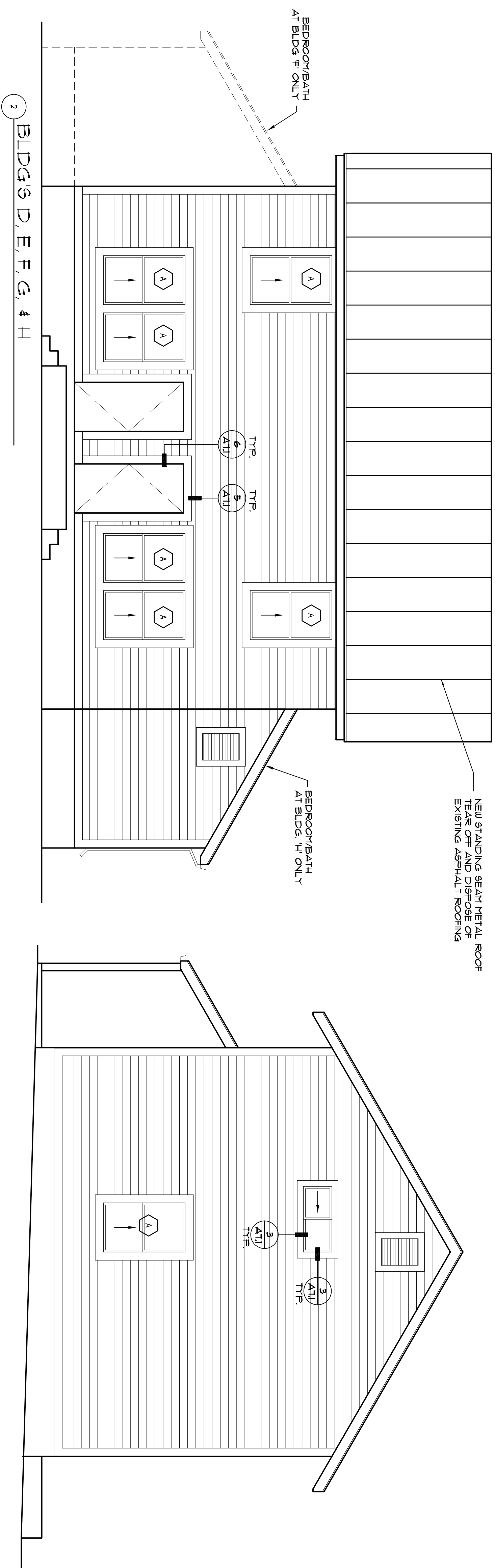


BUILDING B RIGHT SIDE

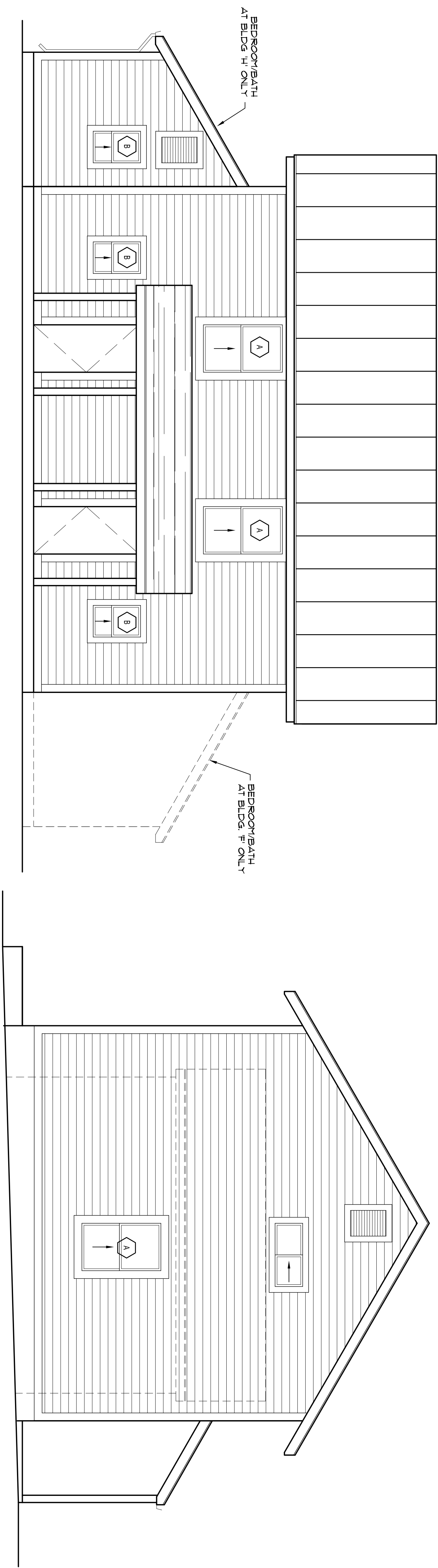
5 BUILDING ELEVATIONS

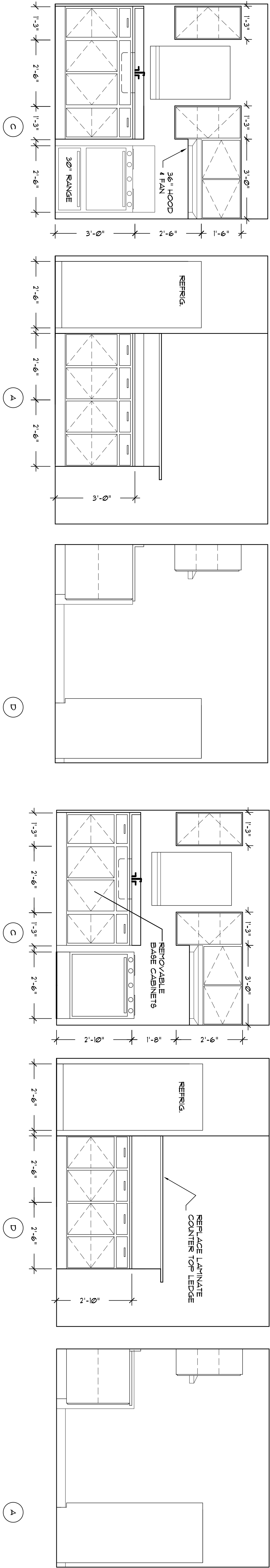


— OFFICE EXTERIOR ELEVATIONS



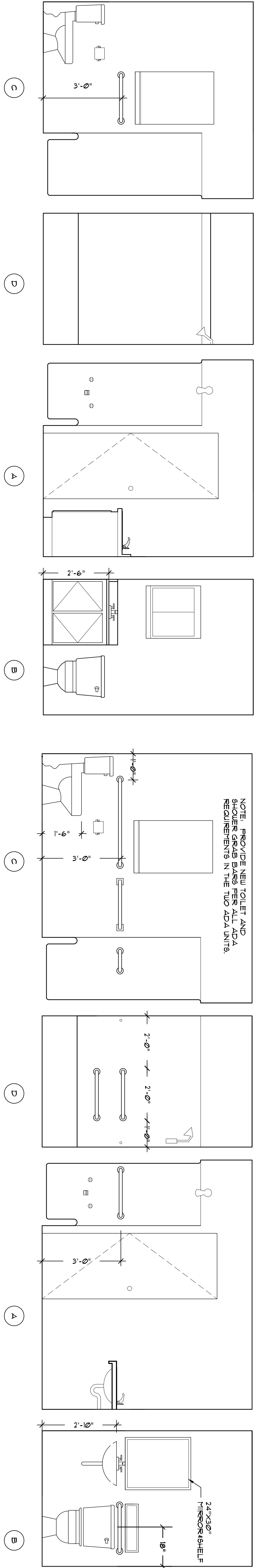
BLDG'S D, E, F, G, & H





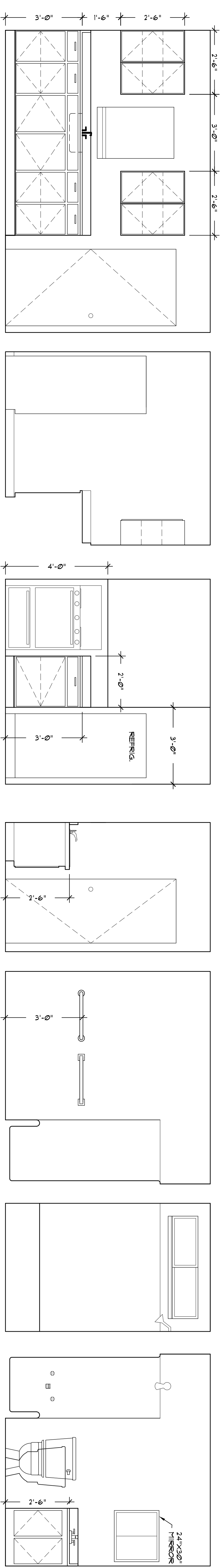
1 ONE-BEDROOM KITCHEN ELEVATIONS

2 ADA ONE-BEDROOM KITCHEN ELEVATIONS



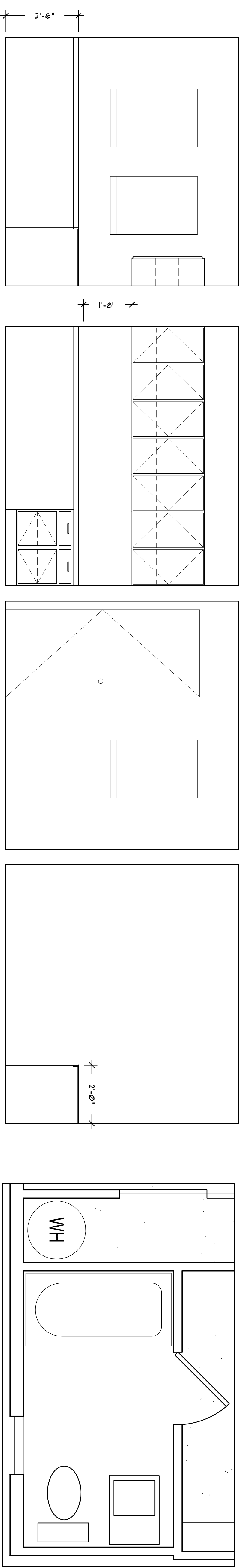
3 ONE-BEDROOM BATHROOM ELEVATIONS

4 ADA ONE-BEDROOM BATHROOM ELEVATIONS



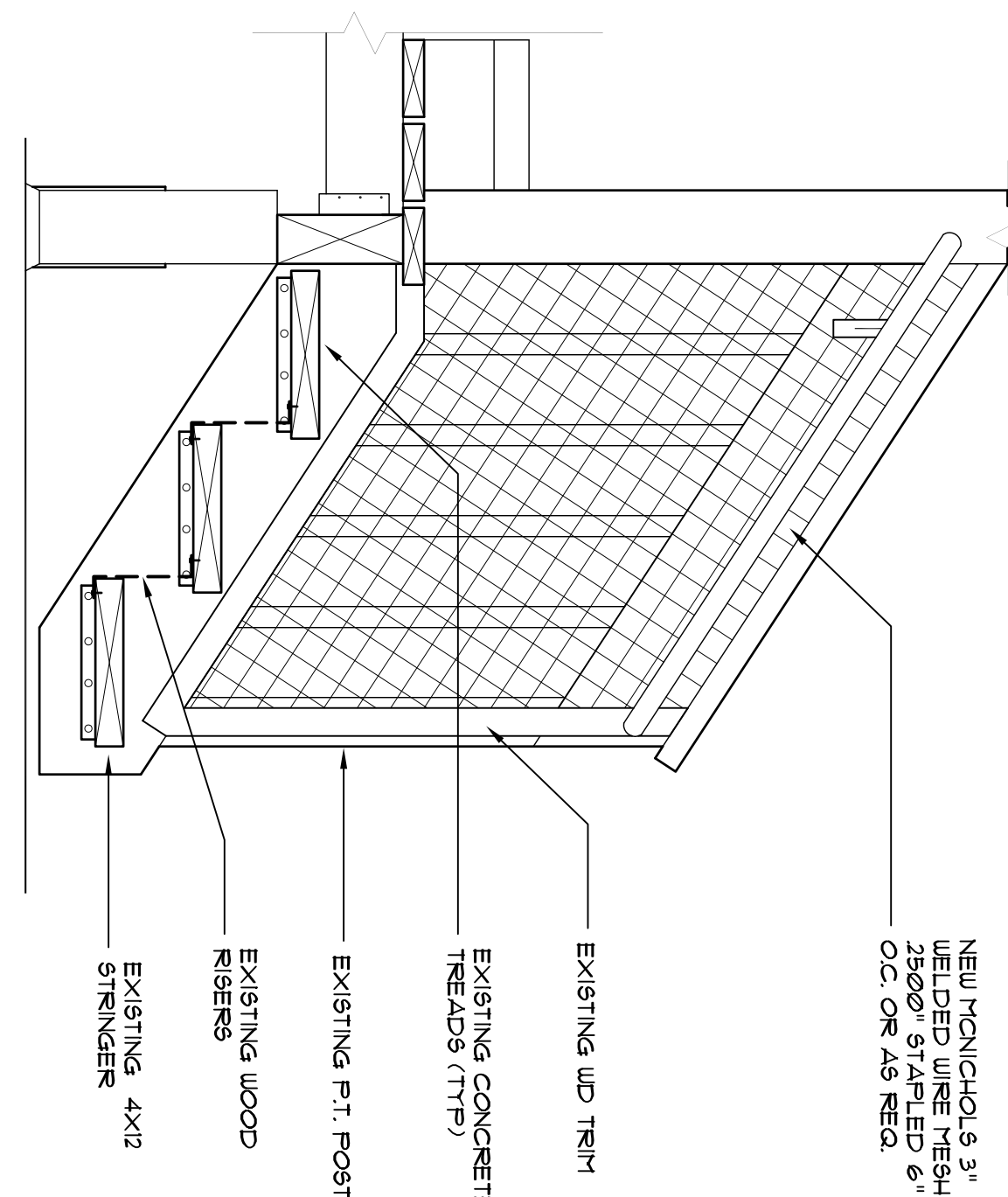
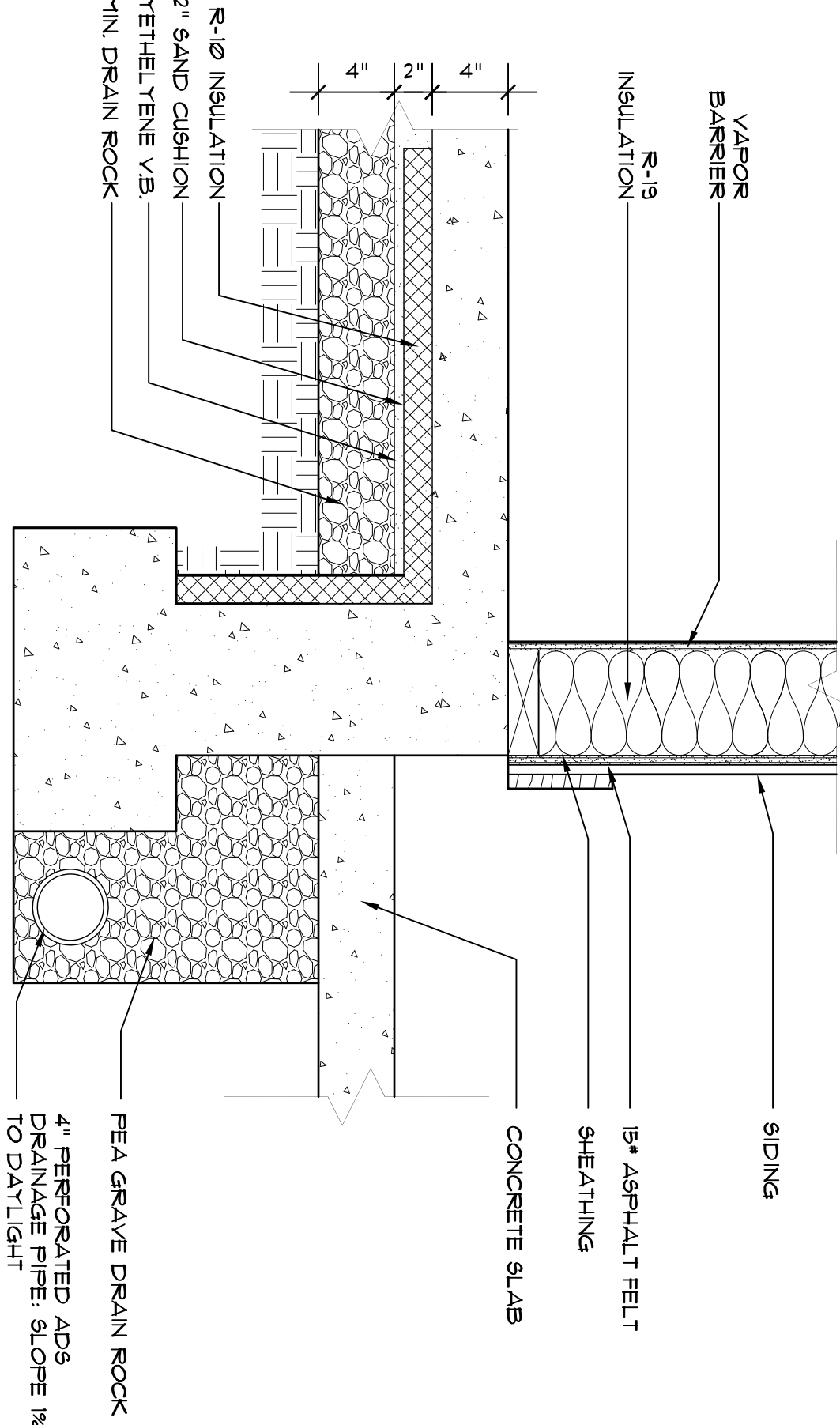
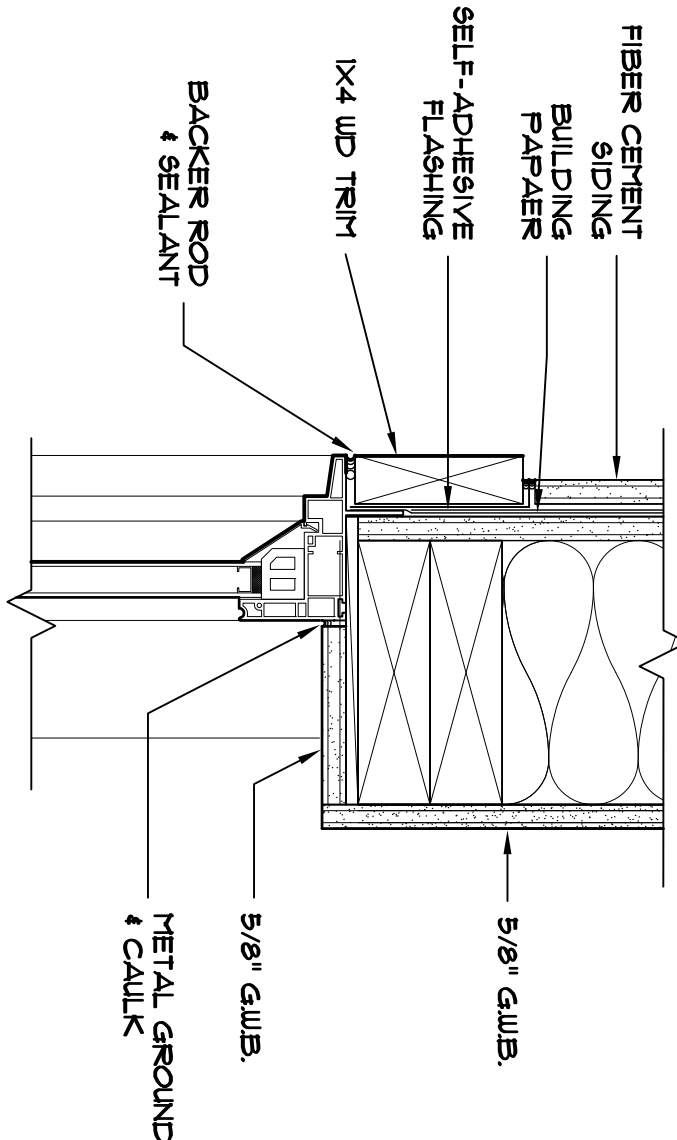
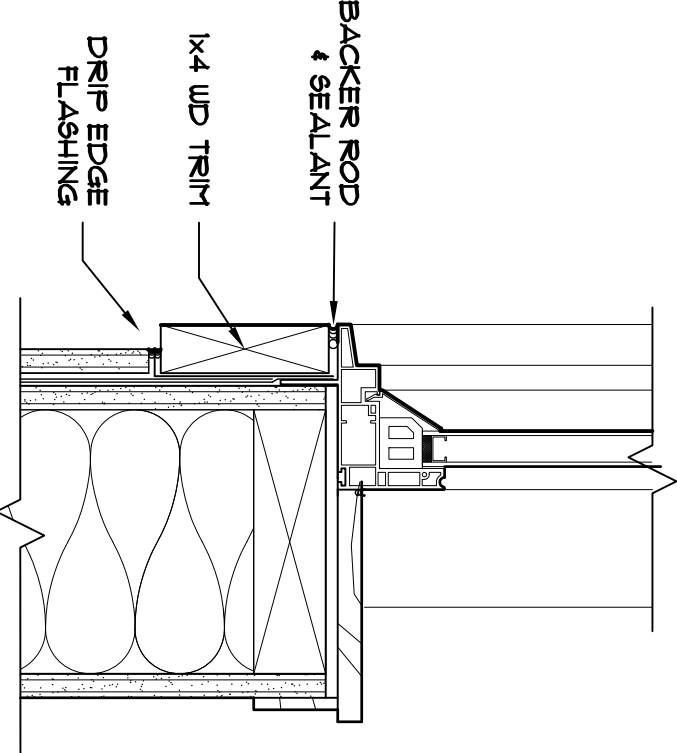
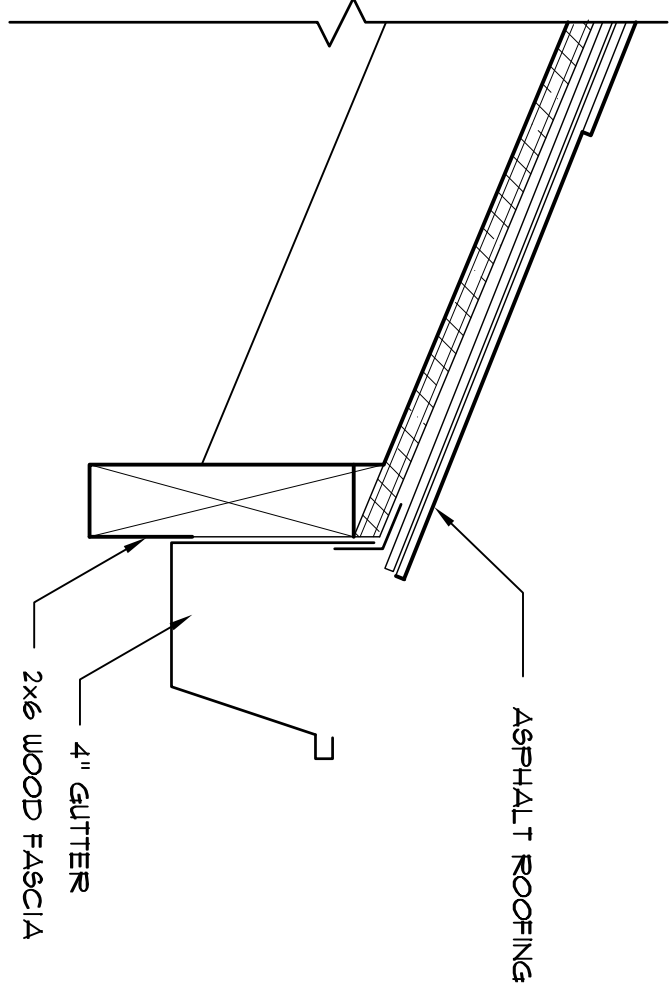
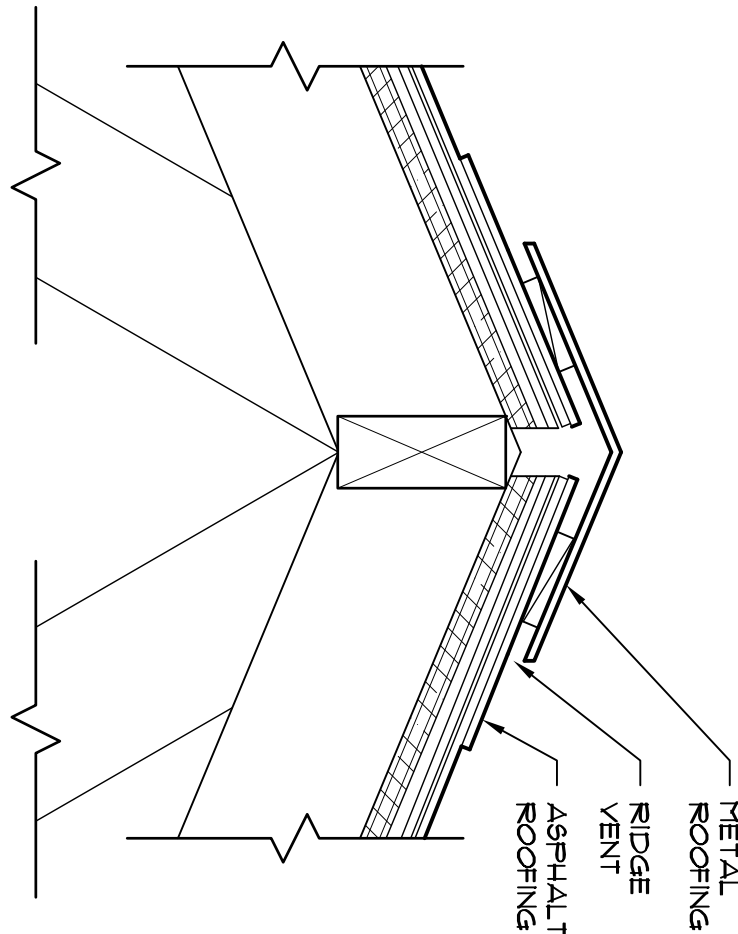
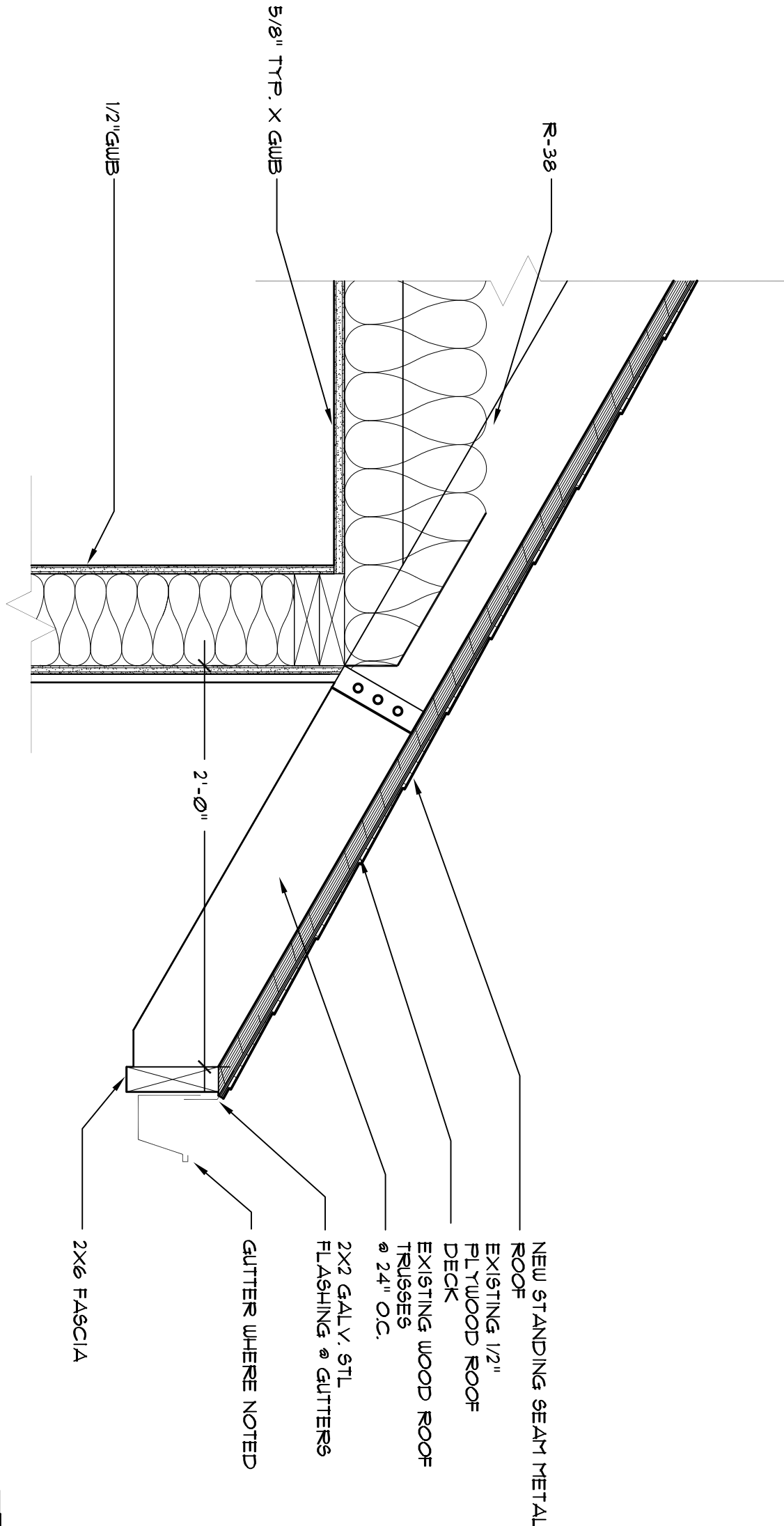
5 TWO-BEDROOM & THREE-BEDROOM KITCHEN ELEVATIONS

6 TWO-BEDROOM & THREE-BEDROOM BATHROOM ELEVATIONS



1 OFFICE ADDITION INTERIOR ELEVATIONS

8 ENLARGED ADA BATHROOM PLAN



NEW EXTERIOR WALL SECTION
SCALE: 1-1/2" = 1'-0"

SEC. DET. @ FIRST FLR. LANDING
SCALE: 1" = 1'-0"

2 TYPICAL PEAK
SCALE: 3" = 1'-0"

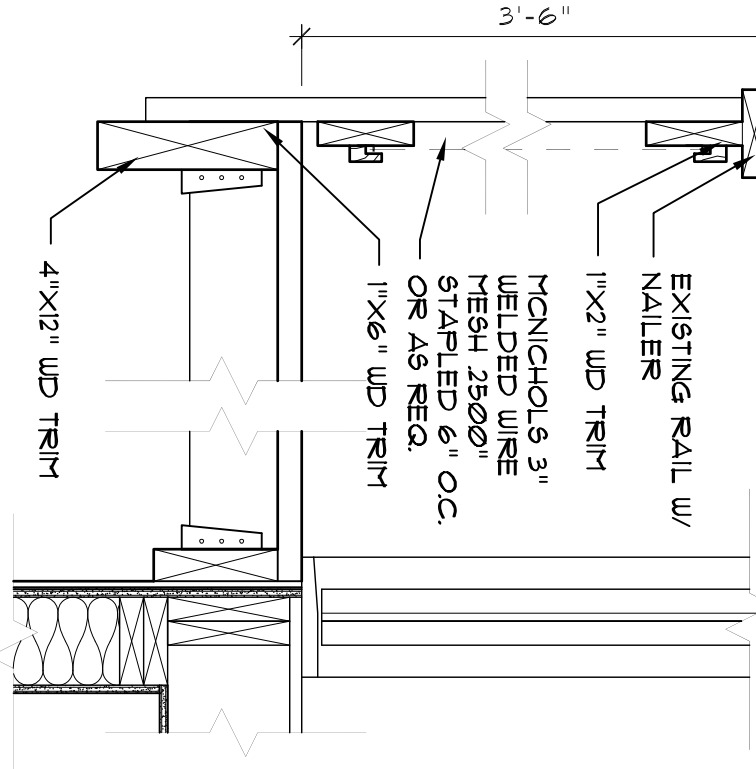
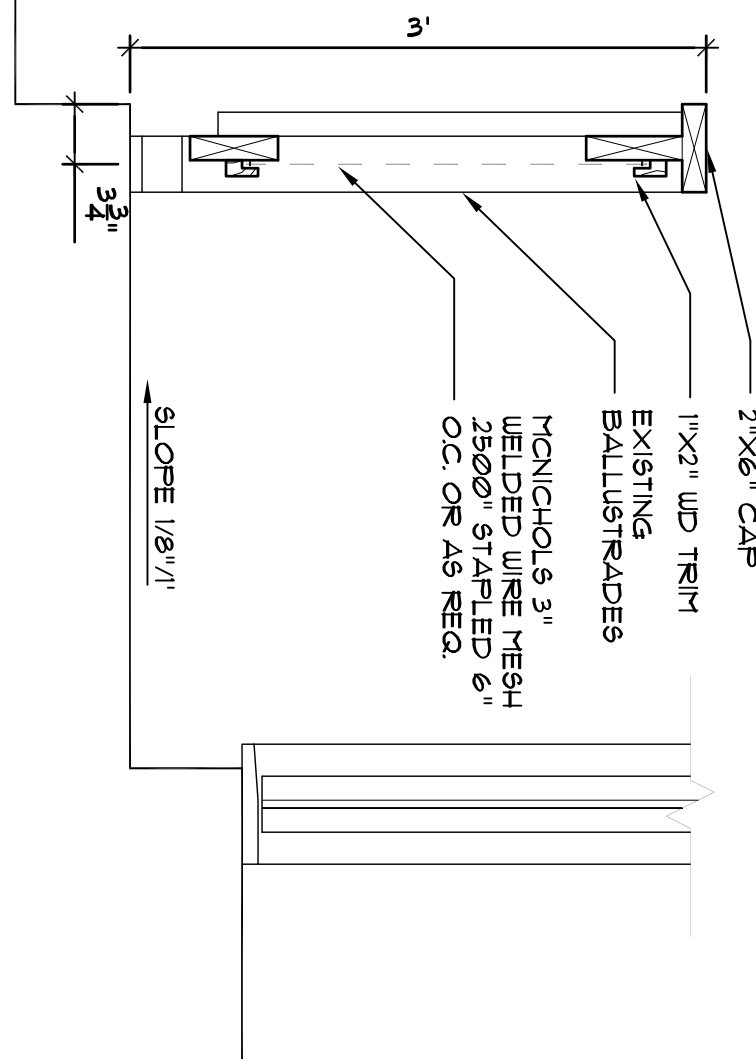
1 TYPICAL EAVE
SCALE: 3" = 1'-0"

4 TYP. WINDOW SILL
SCALE: 3" = 1'-0"

3 TYP. WINDOW JAMB
SCALE: 3" = 1'-0"

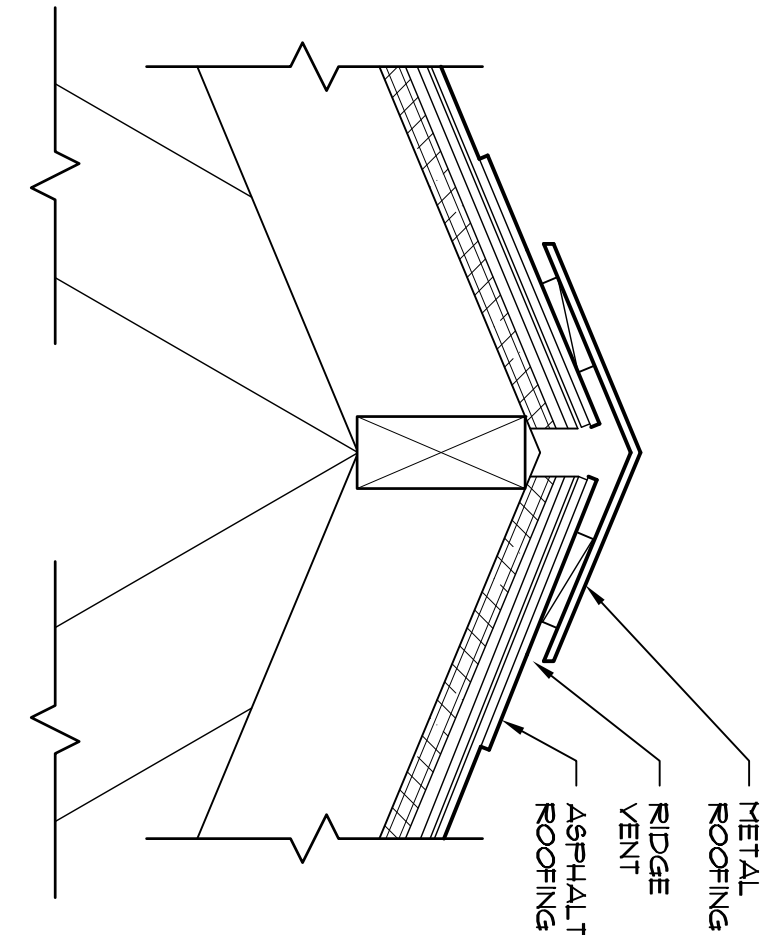
6 DOOR JAMB
SCALE: 3" = 1'-0"

5 HEAD JAMB SIM. (TYP.)
SCALE: 3" = 1'-0"



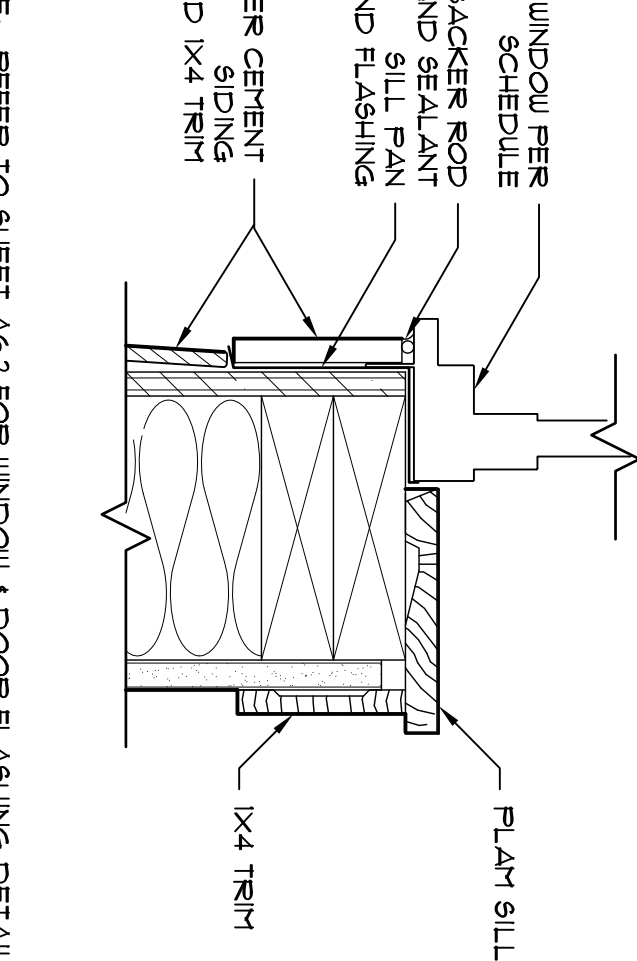
8 DECK DETAIL @ 1ST FLR
SCALE: 3" = 1'-0"

7 DECK DETAIL @ 2ND FLR
SCALE: 3" = 1'-0"



2 TYPICAL PEAK

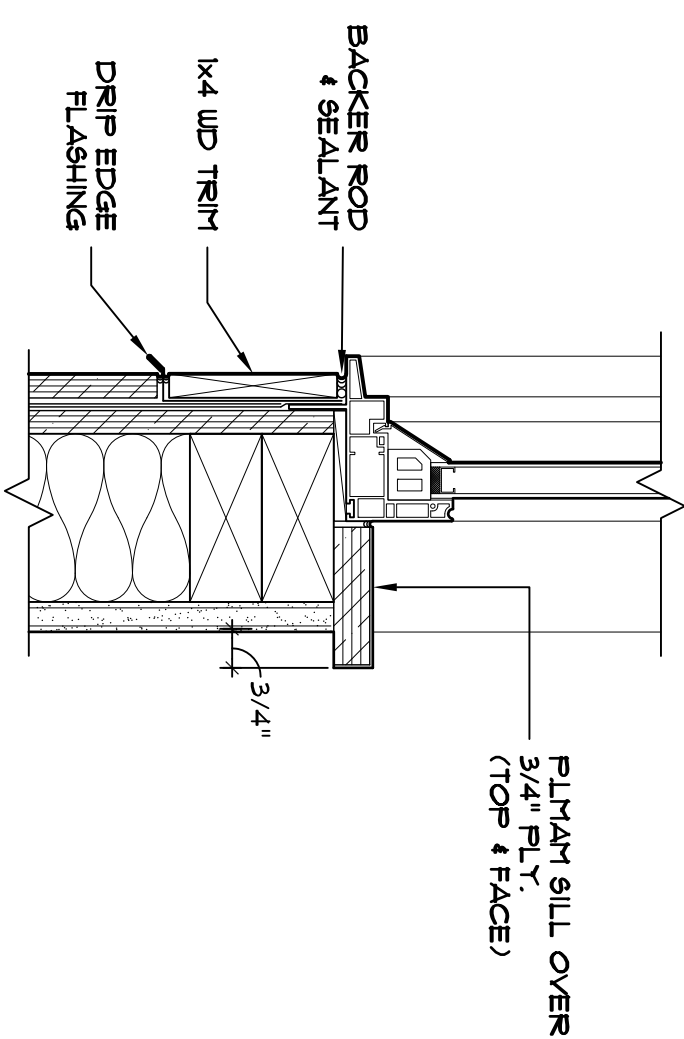
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12 TYPICAL WINDOW SILL

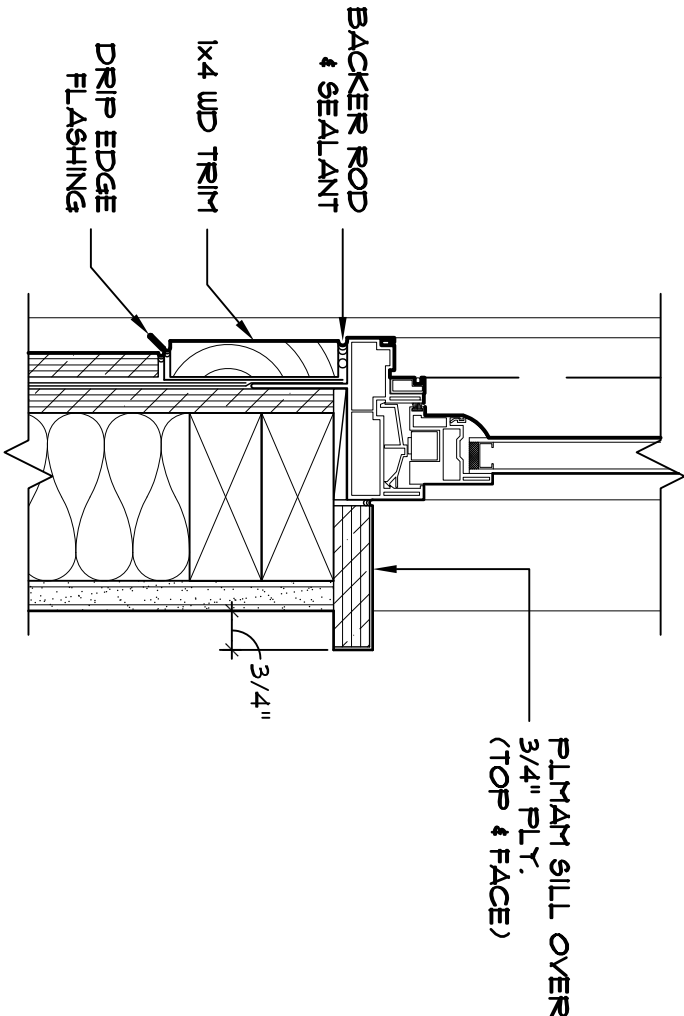
SCALE: 3" = 1'-0"

NOTE: REFER TO SHEET A6.2 FOR WINDOW & DOOR FLASHING DETAILS



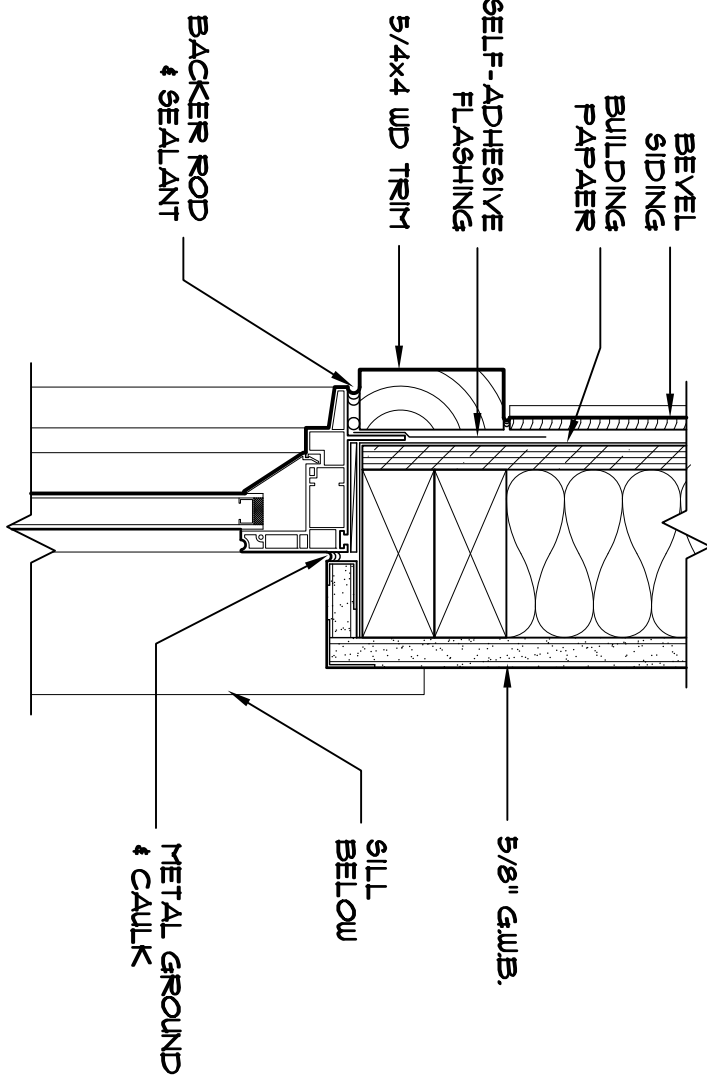
6 TYP. WINDOW SILL

SCALE: 3" = 1'-0"



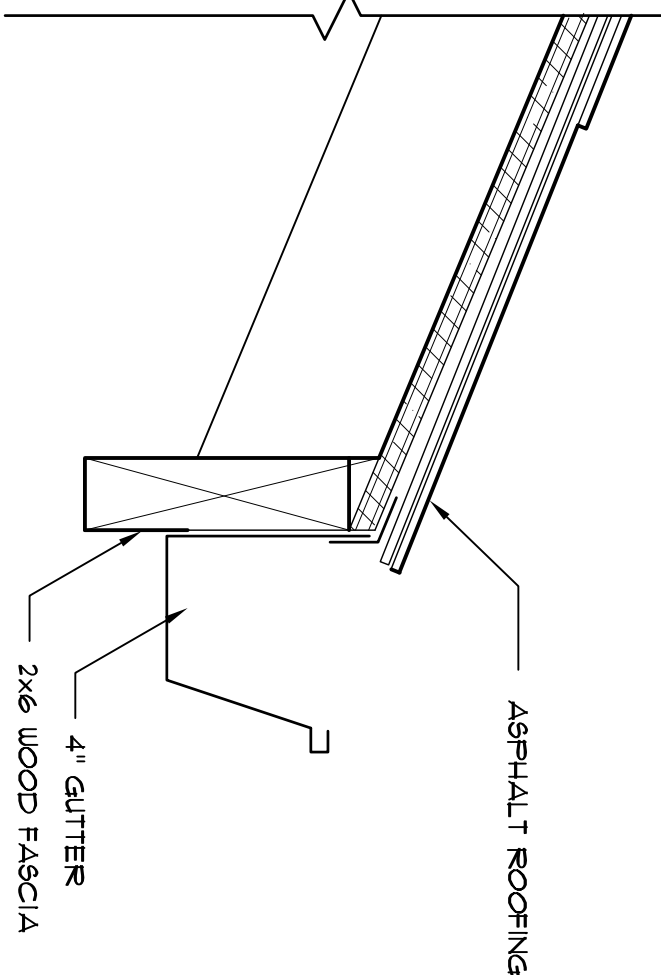
3 HORIZONTAL SLIDER SILL

SCALE: 3" = 1'-0"



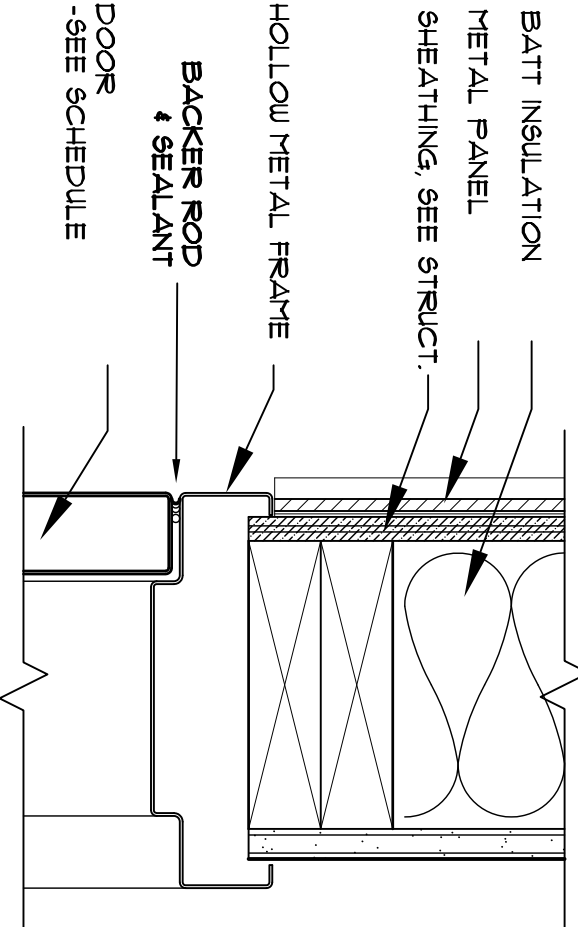
5 TYP. WINDOW JAMB

SCALE: 3" = 1'-0"



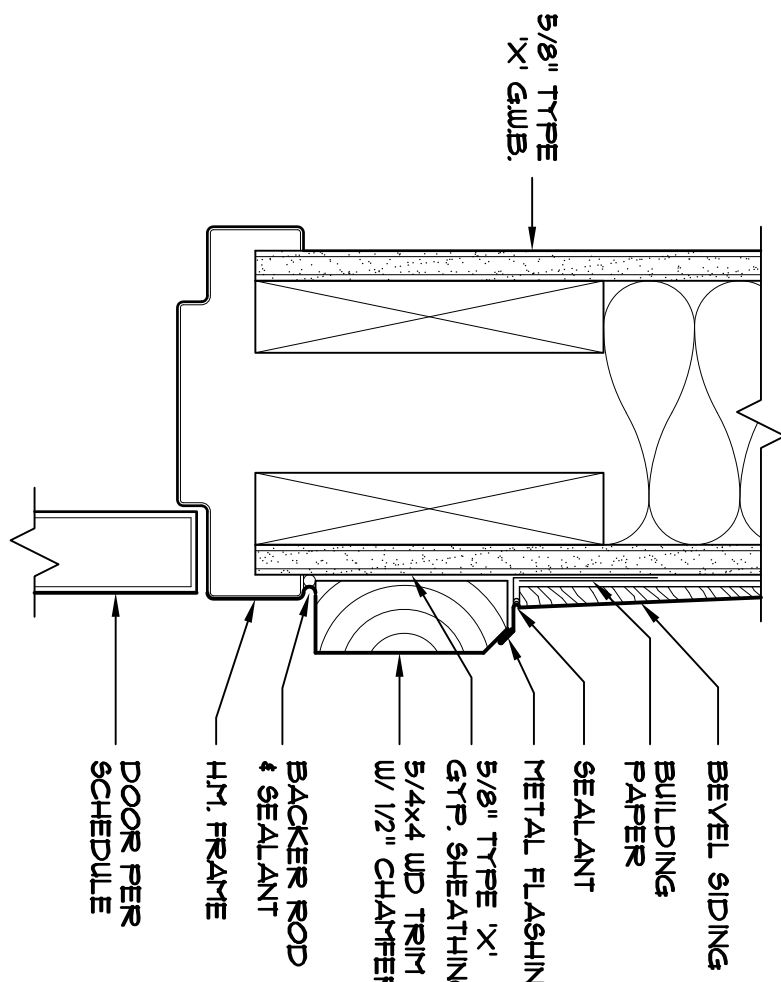
1 TYPICAL EAVE

SCALE: 3" = 1'-0"



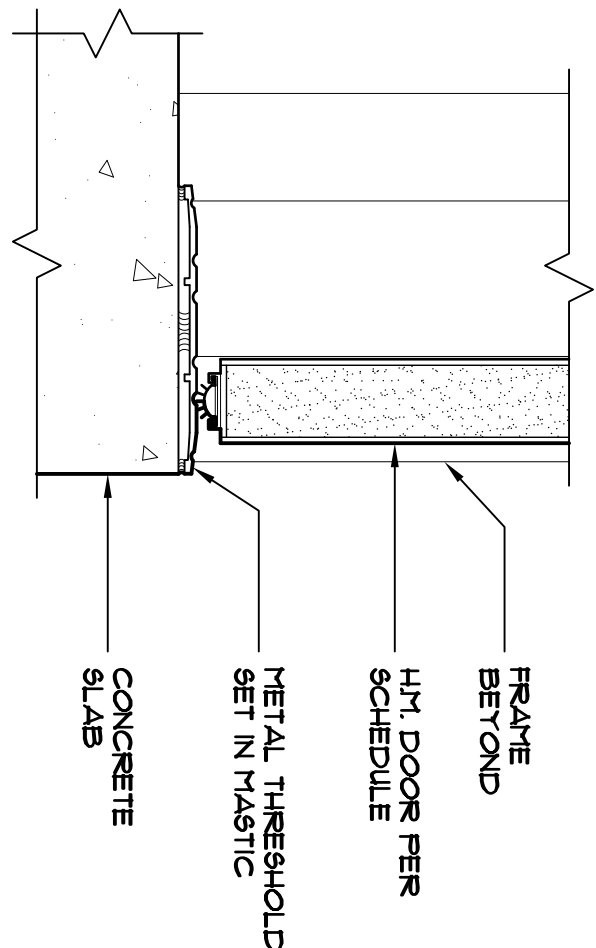
5 HEAD/JAMB SILL (TYP.)

SCALE: 3" = 1'-0"



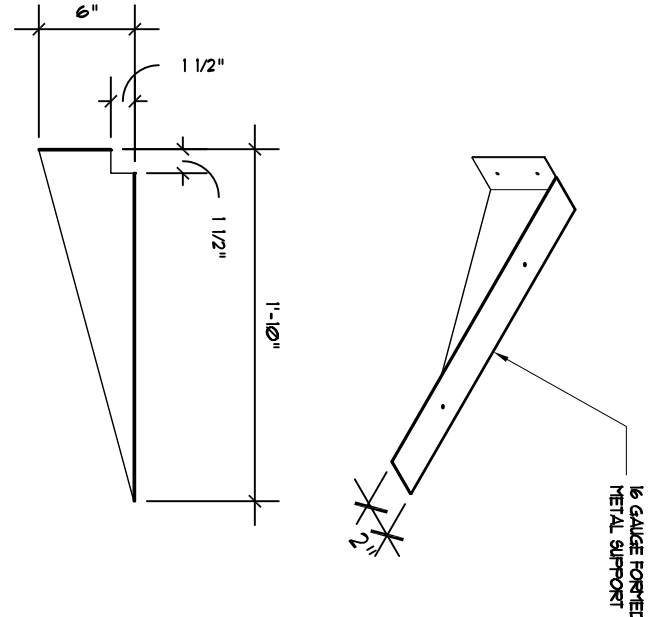
16 DOOR HEADER

SCALE: 3" = 1'-0"



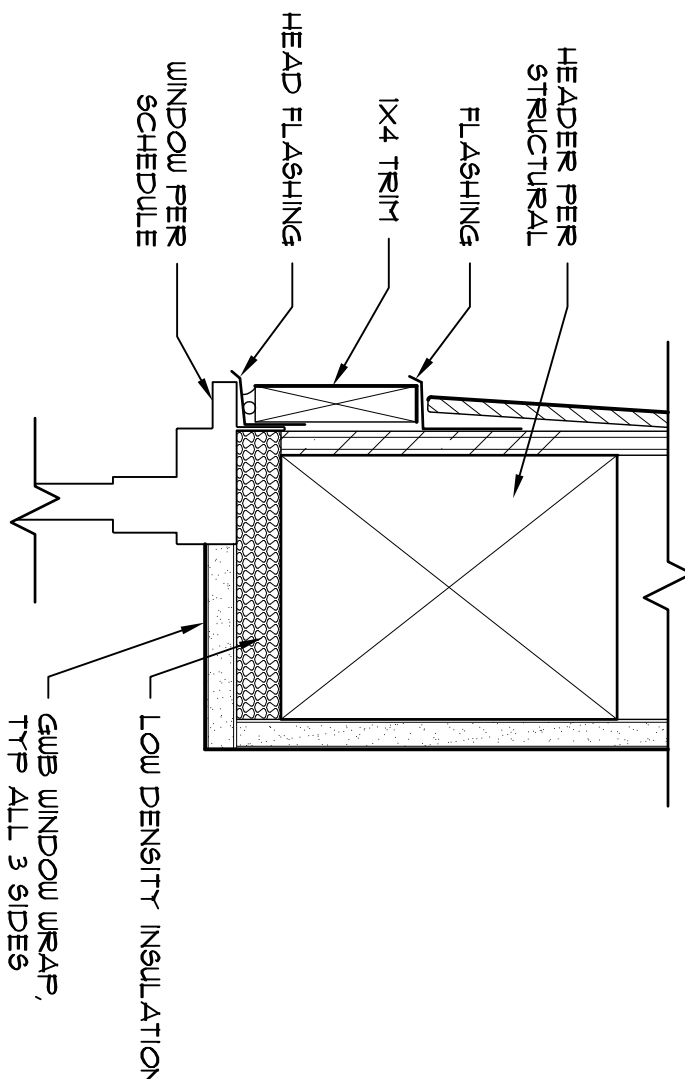
8 H1. DOOR THRESHOLD

SCALE: 3" = 1'-0"



12 METAL COUNTER SUPPORT

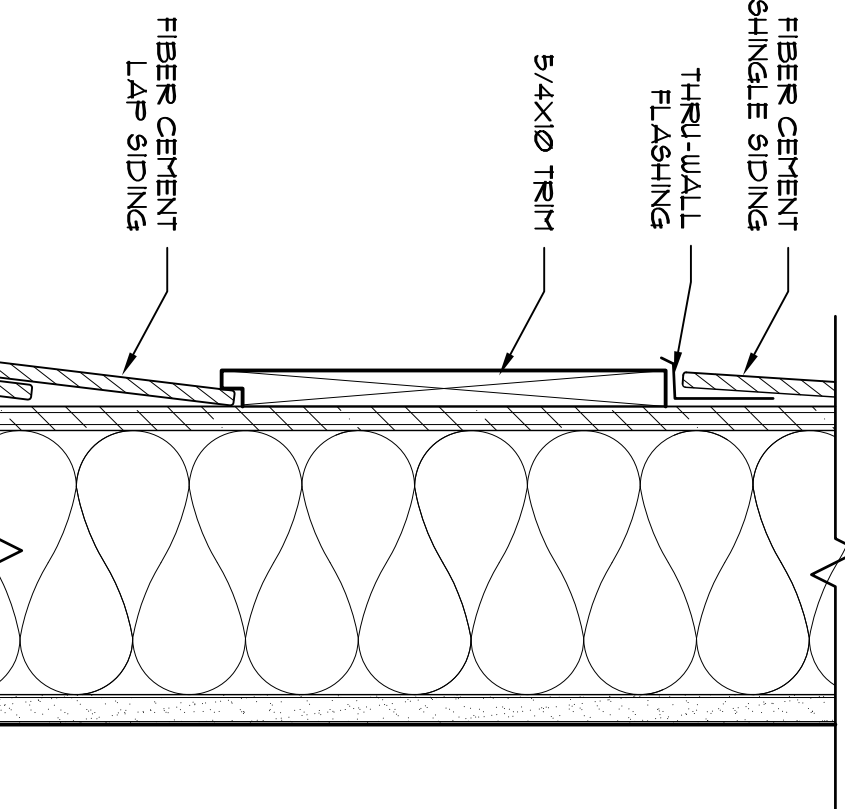
SCALE: 1/4" = 1'-0"



10 TYPICAL WINDOW HEAD

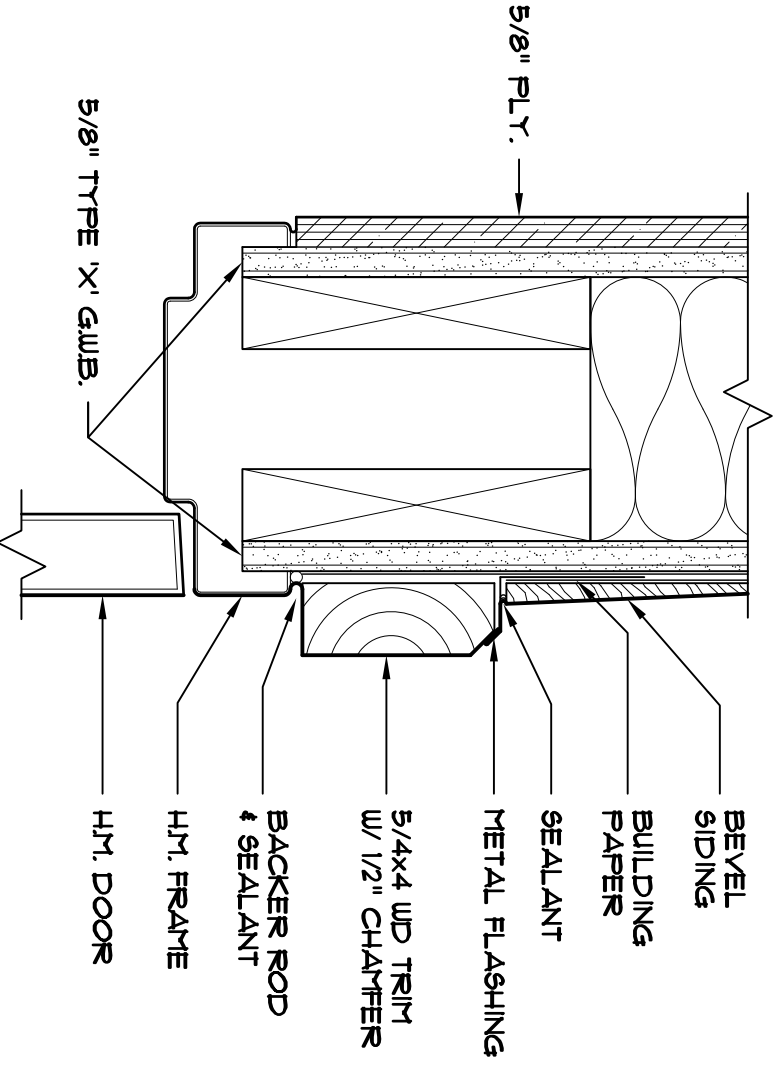
SCALE: 3" = 1'-0"

NOTE: REFER TO SHEET A6.3 FOR WINDOW & DOOR FLASHING DETAILS



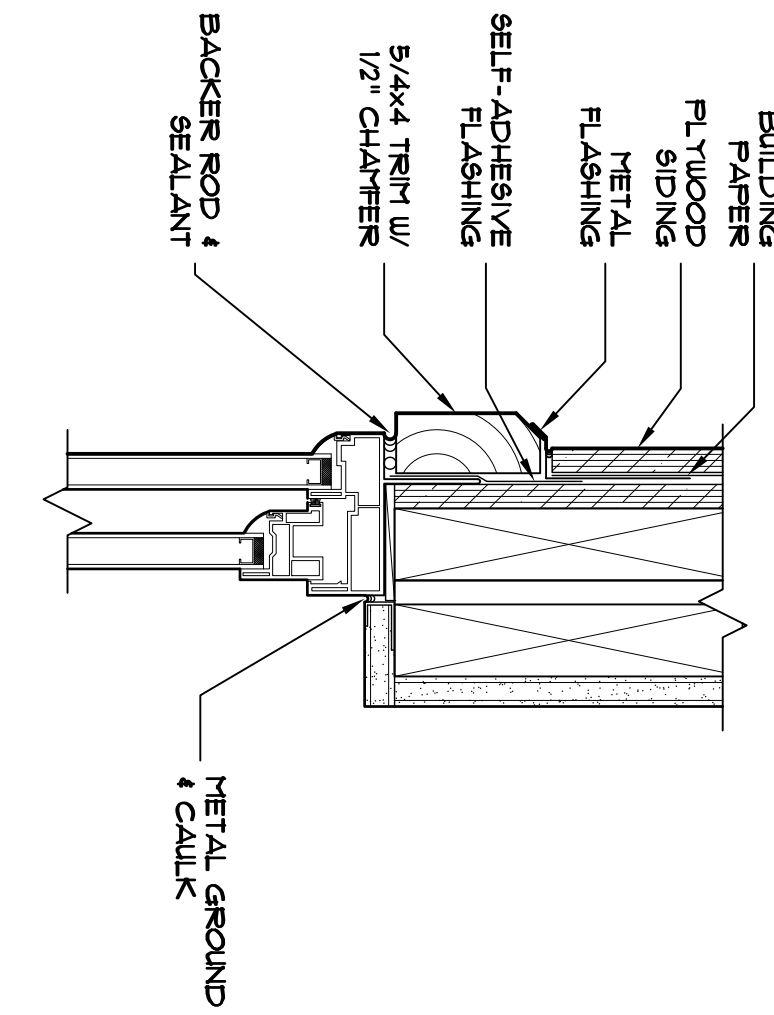
14 OUTSIDE SIDING

SCALE: 3" = 1'-0"



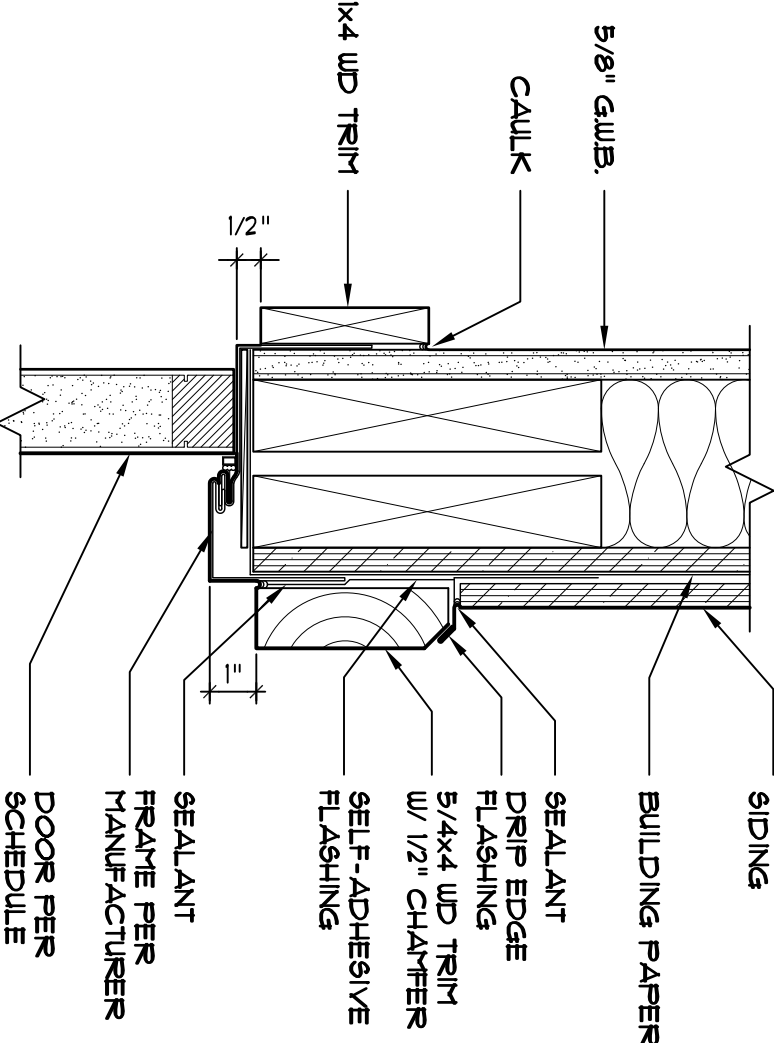
7 H1. DOOR HEAD / JAMB SILL

SCALE: 3" = 1'-0"



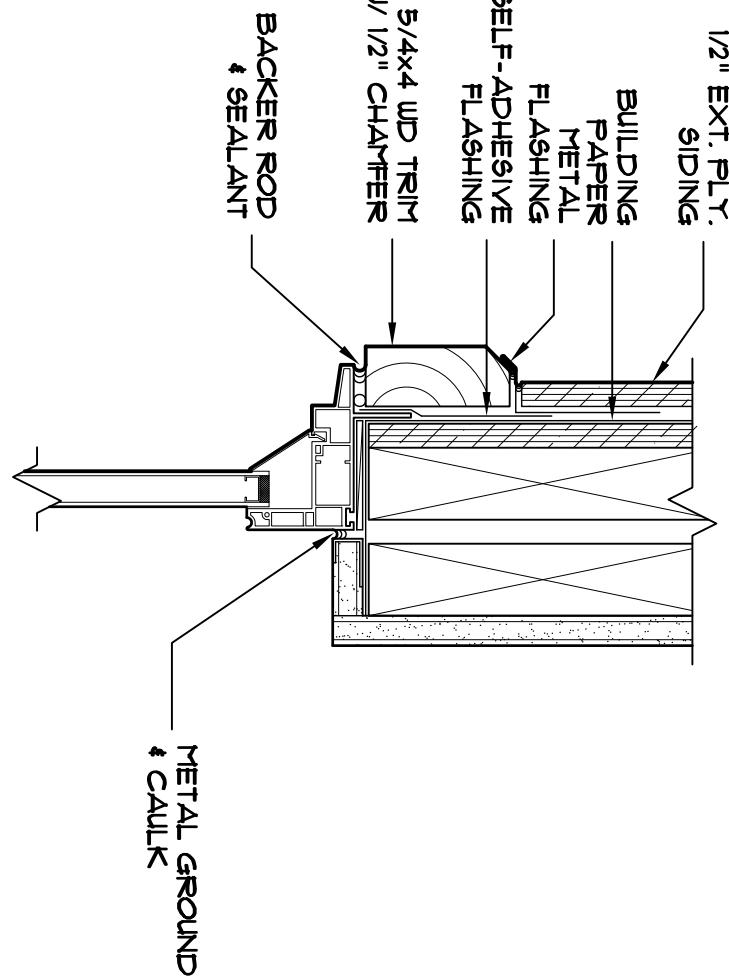
1 HORIZONTAL SLIDER HEAD

SCALE: 3" = 1'-0"



9 DOOR HEAD

SCALE: 3" = 1'-0"



4 TYP. WIN. HEAD

SCALE: 3" = 1'-0"



8 H1. DOOR THRESHOLD

BU-EXT-01

METAL ROOFING
RIDGE VENT
ASPHALT ROOFING

ASPHALT ROOFING
4" GUTTER
2x6 WOOD FASCIA

LOU DENSITY INSULATION
GLUE WINDOW UREAP, TYP. ALL 3 SIDES

OPAL
LAVENDER
HOLLOW RENO.
OPAL COMMUNITY
LAND TRUST

EXTERIOR
DETAILS

DESIGNED BY
DRAWN BY
CHECKED BY
REV. DATE
A7.2

