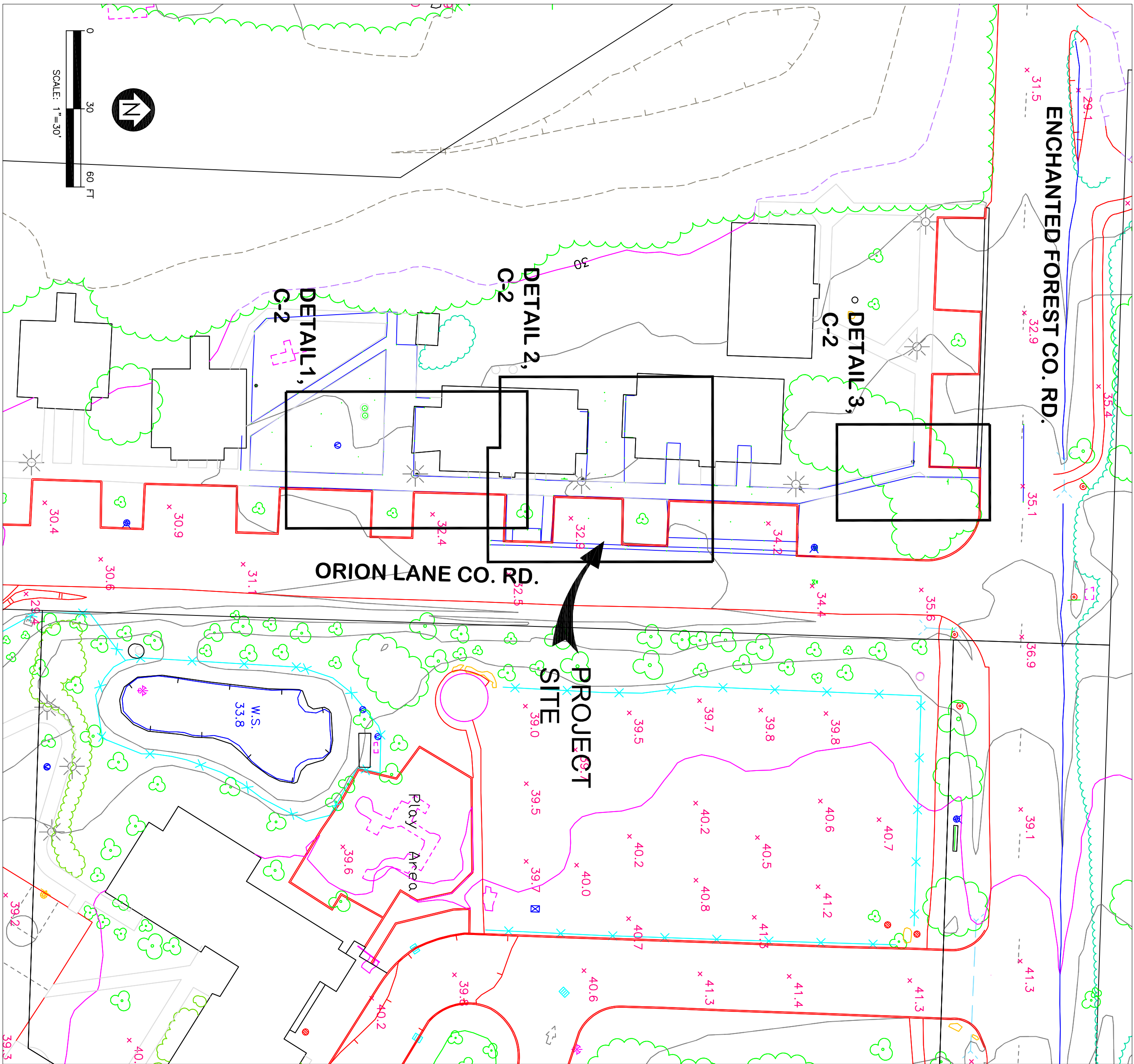
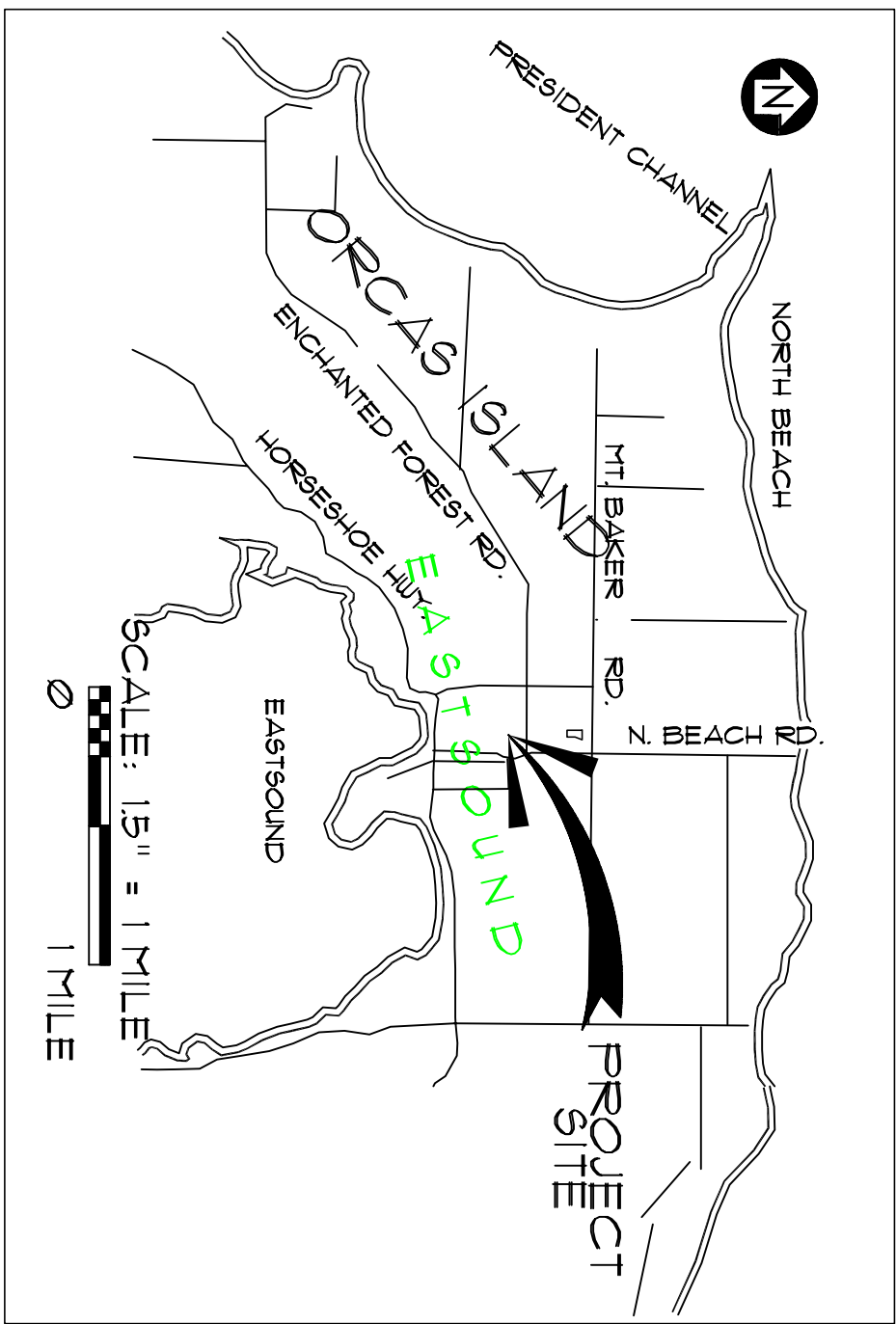


OPAL LAVENDER HOLLOW APARTMENTS

CIVIL ADA IMPROVEMENT PLAN

JANUARY 2012



GENERAL NOTES

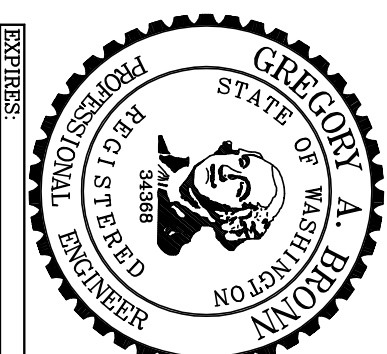
1. TOPOGRAPHY, VERTICAL ELEVATIONS AND PROPERTY LINE INFORMATION FOR THIS WORK IS BASED ON 2003 AIR PHOTO SURVEY BY DEGIROSS AERIAL SURVEYING, INC. AND NOVEMBER 2011 SURVEY BY ISLANDS SURVEYING. ISLANDS SURVEYING HAS PROVIDED TOP OF CONCRETE SPOT ELEVATIONS ON EXISTING CURBS AND SIDEWALKS THAT CAN BE USED AS BENCHMARKS FOR THIS PROJECT. REFER TO THE SITE PLAN FOR LOCATION AND ELEVATION.
2. PROPERTY LINE INFORMATION IS APPROXIMATE. CONTACT SURVEYOR FOR EXACT LOCATION. ENSURE THAT IMPROVEMENTS ARE COMPLETELY WITHIN THE PROPERTY LINES OR WITHIN ESTABLISHED EASEMENTS OR RIGHTS-OF-WAY.
3. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, FEES, LICENSES, AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK.
4. THE CONTRACTOR SHALL RECORD ALL DEVIATIONS FROM THE PLANS, AT THE COMPLETION OF THE WORK AND BEFORE FINAL PAYMENT THE CONTRACTOR SHALL PERPARE A "RED LINE" AS BUILT ON A CLEAN PLAN SET.
5. THE CONTRACTOR SHALL COMPLY WITH ALL WISHA CONSTRUCTION SAFETY RULES (WAC CHAPTER 296-155) SAFETY STANDARDS FOR CONSTRUCTION WORK AND WAC CHAPTER 296-800 SAFETY AND HEALTH (SOME RULES). COMMON ONES ARE:
- PERSONAL PROTECTIVE EQUIPMENT (WAC 296-800-160) EQUIPMENT WILL INCLUDE, BUT IS NOT LIMITED TO, HEAD AND FOOT PROTECTION AS WELL AS REFLECTIVE VESTS.
6. THE EXACT ALIGNMENT OF EXISTING BURIED UTILITIES IS UNKNOWN. THE LOCATIONS SHOWN ARE BASED ON AVAILABLE RECORDS AND ARE APPROXIMATE. VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO STARTING WORK.
7. RESTORE ALL AREAS TO THEIR ORIGINAL OR BETTER APPEARANCE. CONFORM TO ALL SAN JUAN COUNTY REQUIREMENTS FOR RESTORATION IN THE PUBLIC RIGHT-OF-WAY.
8. THE CONTRACTOR SHALL KEEP THE PROJECT AND SURROUNDING AREAS CLEAN AND DUST FREE. DEBRIS DEPOSITED IN DRAINAGE FACILITIES, ROADWAYS, AND OTHER AREAS, RESULTING FROM THE WORK SHALL BE REMOVED IMMEDIATELY. THE WORK SHALL BE IN CONFORMANCE WITH SAN JUAN COUNTY REQUIREMENTS IN REGARDS TO EROSION CONTROL. USE ALL MEANS NECESSARY TO PREVENT SEDIMENT TRANSPORT INTO EXISTING DRAINAGE SYSTEM. CONCRETE WASTE SHALL NOT BE WASHED OUT ONSITE AND EXISTING STORMDRAINS SHALL BE PROTECTED WITH CATCH BASIN INSERTS AND / OR STRAW MATTES TO PREVENT CONTAMINATION OF DOWNSTREAM WETLAND.
9. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND DETAILS SHOWN ON THE DRAWINGS PRIOR TO THE START OF CONSTRUCTION. BRING ANY DISCREPANCY TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION.
10. PROVIDE AND MAINTAIN SIGNS, BARRICADES, MARKERS, CONES AND PROTECTIVE FACILITIES AND OTHERWISE TAKE ALL NECESSARY PRECAUTIONS FOR THE PROTECTION AND SAFETY OF THE PUBLIC.
11. ALL WORK TO BE IN CONFORMANCE WITH THE CURRENT AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS FOR SURFACING, DIMENSIONS, SLOPES, STRIPING AND SIGNAGE.
12. ALL WORK TO BE IN CONFORMANCE WITH THE CURRENT WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION.

DRAWING LIST

- C-1 GENERAL PLAN AND NOTES
- C-2 SITE AND GRADING PLANS
- C-3 DETAILS

CALL BEFORE DIGGING

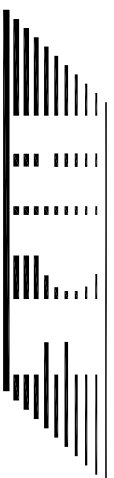
1-800-424-5555



EXEMPTED:

NO.	DATE	REVISION	HPE
			718-11
		DESIGNED BY	GAB
		DRAWN BY	GAB
		CHECKED BY	GAB

PREPARED BY:



HART PACIFIC ENGINEERING
P.O. BOX 3287, FRIDAY HARBOR, WASHINGTON 98250 360/376-7048
P.O. BOX 124, EASTSOUND, WASHINGTON 98245 360/376-3896

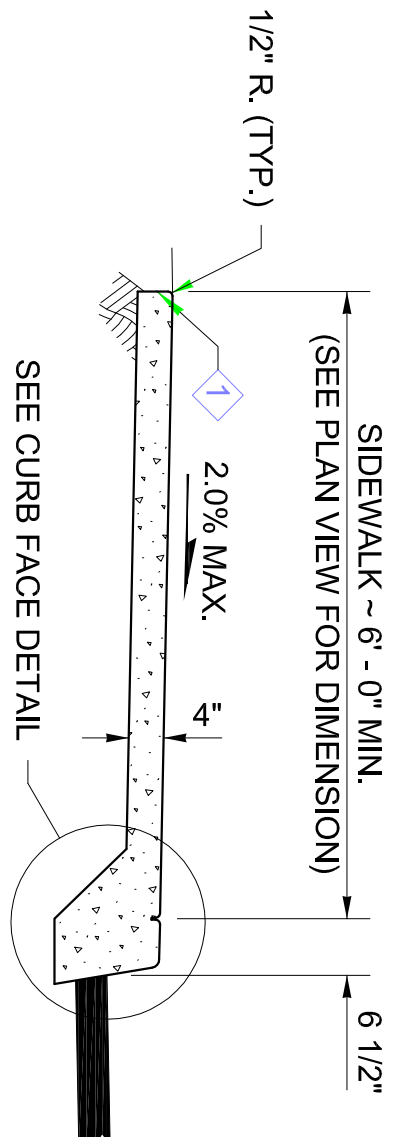
PREPARED FOR:

OPAL COMMUNITY LAND TRUST
PO BOX 1133
EASTSOUND, WA. 98245

LAVENDER HOLLOW ADA IMP.

GENERAL PLAN AND NOTES

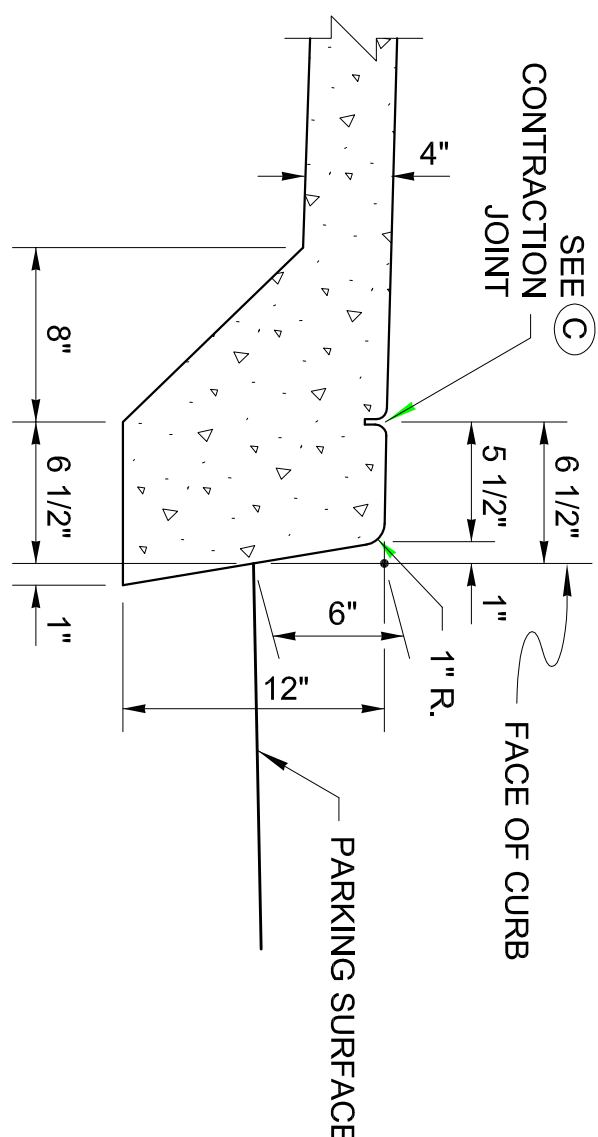
SCALE:	DRAWING NO.
AS NOTED	C-1
DATE: JAN 2012	SHEET NO. 1 of 3



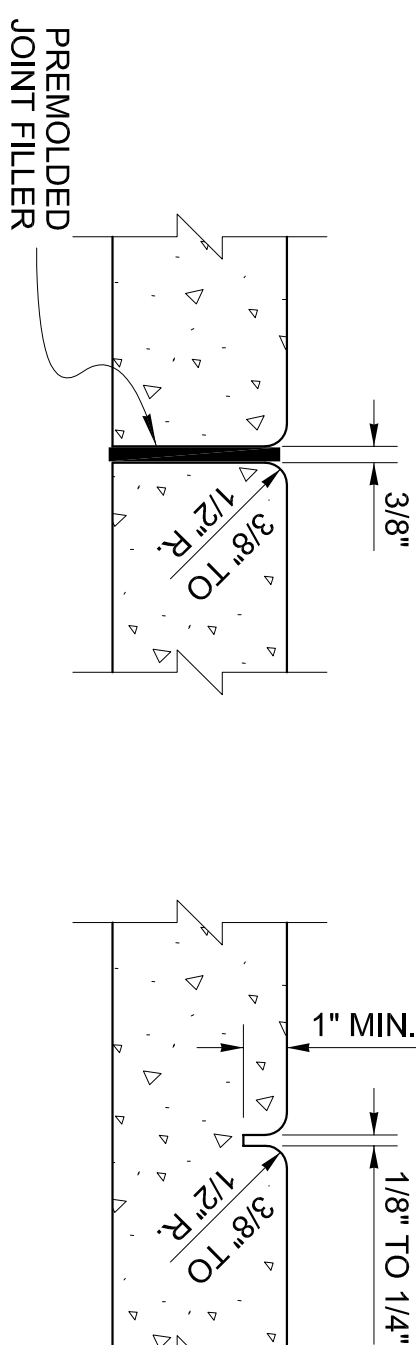
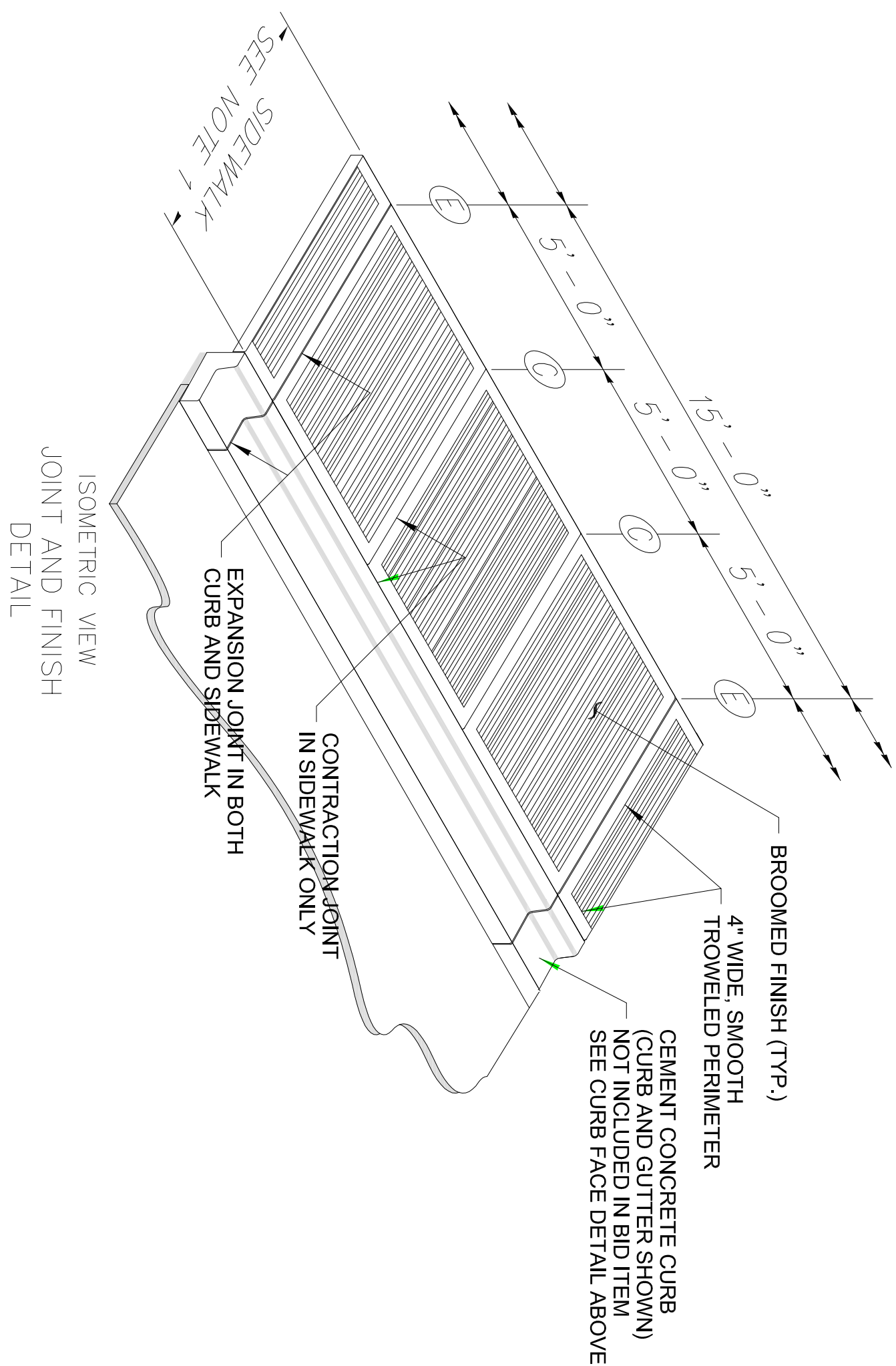
MONOLITHIC CEMENT CONCRETE CURB AND SIDEWALK

NOTE

- Four feet of the sidewalk width shall be the minimum pedestrian accessible route free of vertical and horizontal obstructions. Gratings, access covers, junction boxes, cable vaults, pull boxes and other appurtenances within the sidewalk must have slip resistant surfaces and be flush with surface and match grade of the sidewalk.



NOTE: Extend sidewalk transverse expansion joints to include curb (full depth).
CURB FACE DETAIL



EXPANSION JOINT

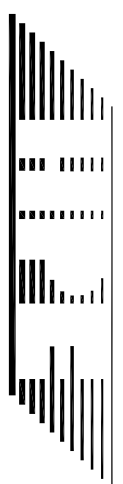
CONTRACTION JOINT

TYPICAL CONCRETE SIDEWALK

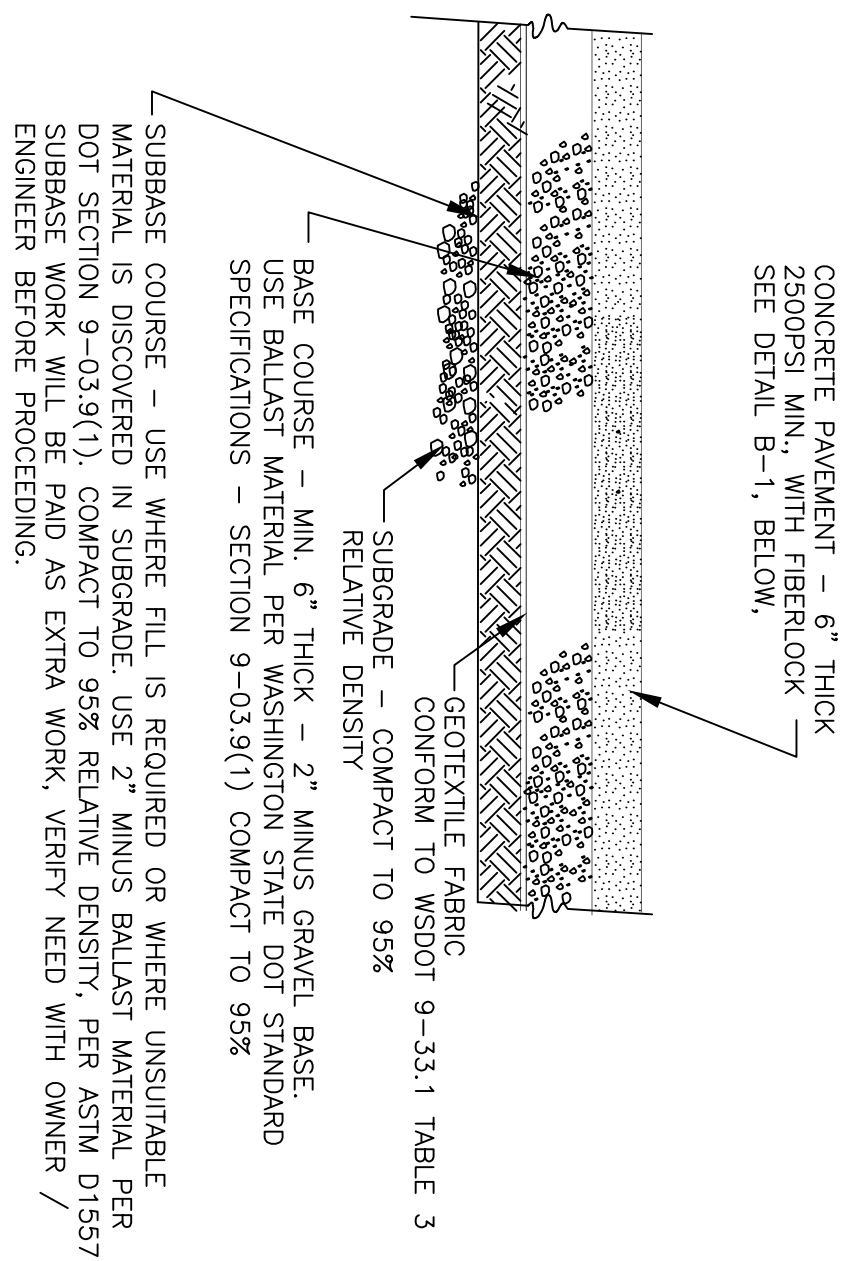
A
NTS

NO.	DATE	REVISION
		HPE 7/8-11
		DESIGNED BY GAB
		DRAWN BY GAB
		CHECKED BY GAB

PREPARED BY:

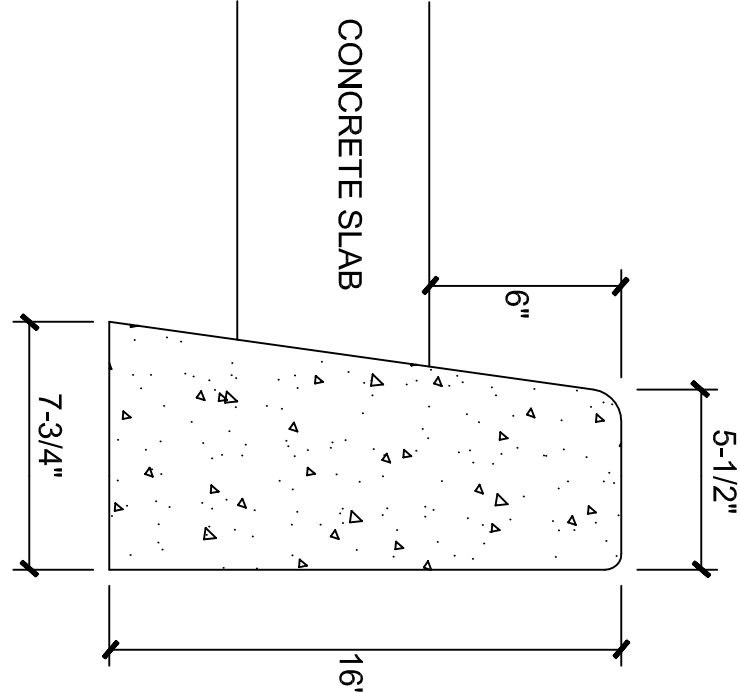


HART PACIFIC ENGINEERING
P.O. BOX 3287, FRIDAY HARBOR, WASHINGTON 98250 360/378-7048
P.O. BOX 124, EASTSOUND, WASHINGTON 98245 360/376-3995



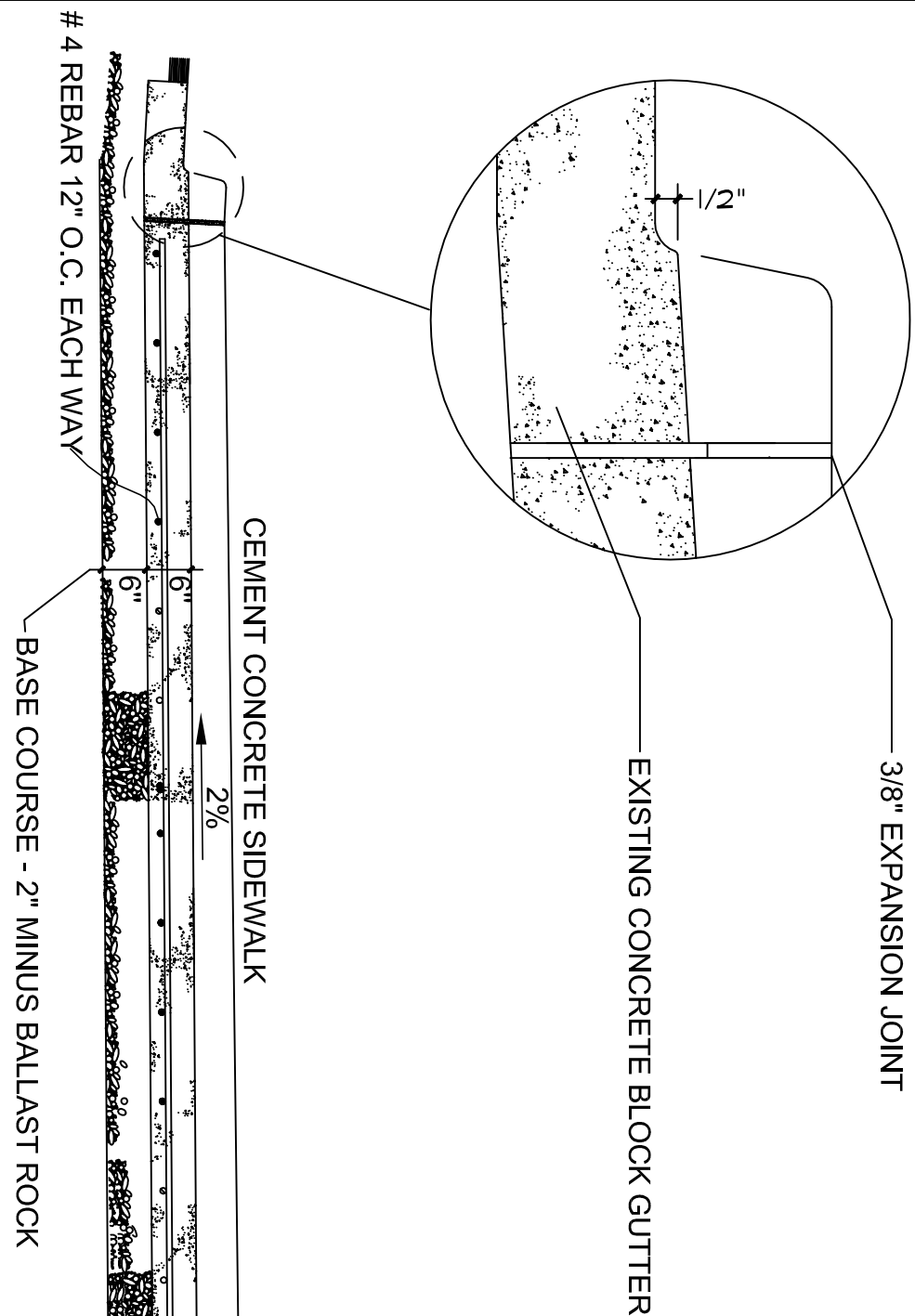
TYPICAL PARKING LOT PAVEMENT SECTION

B
NTS



TYPICAL CURB SECTION

C
NTS



PARKING AREA CONCRETE PAVEMENT DETAIL

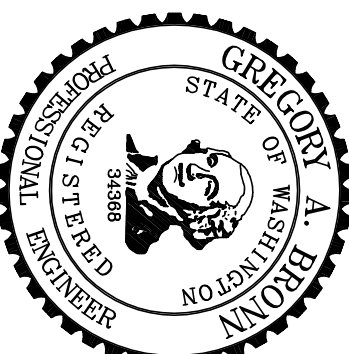
B-1
NTS

PREPARED FOR:

OPAL COMMUNITY LAND TRUST
PO BOX 1133
EASTSOUND, WA, 98245

LAVENDER HOLLOW ADA IMP.

DETAILS



SCALE:	DRAWING NO.
AS NOTED	C-3
DATE: JAN 2012	SHEET NO. 3 of 3